

BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVENUE, REDONDO BEACH, CA 90277
OWNER CONTACT: BEACH CITIES HEALTH DISTRICT | TOM BAKALY | TEL: 310.374.3426, x118 | WWW.BCHD.ORG



ARTIST'S RENDITION



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 358-0993

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
COVER SHEET

SCALE
DATE
02/02/2022
DRAWN
AO
CHECKED
PM
SHEET NO.

G000

BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVENUE, REDONDO BEACH, CA 90277



ABBREVIATIONS

A ABOVE ABOVE FINISH FLOOR ACCESS PANEL ACOUSTICAL CEILING TILE AGGREGATE AIR CONDITION ALUMINUM AMERICAN CONCRETE INSTITUTE AMERICAN INSTITUTE OF STEEL CONSTRUCTION AMERICAN NATIONAL STANDARDS INSTITUTE AMERICAN SOCIETY OF CIVIL ENGINEERS AMERICAN SOCIETY OF TESTING AND MATERIAL AMERICAN WELDING SOCIETY AMOUNT ANCHOR BOLT AND ANGLE ANODIZED APPROVED APPROXIMATE ARCHITECT OR ARCHITECTURAL ARCH ASBESTOS ASPHALT ASPHALT TILE ASPHALTIC CONCRETE ASSOCIATE ASSOCIATION AT AUTOMATIC AVENUE	ABV. A.F.F. ACP A.C.T. AGG. A/C ALUM. A.C.I. AISC or A.I.S.C. ANSI ASCE ASTM AWG AWT A.B. & L ANOD. APPD. APPROX. ARCH ASB ASPH. A.T. A.C. ASSOC. ASSN. AT AUTO AVE.	CORRIDOR COUNTERSINK CUBIC CUBIC FEET PER MINUTE CUBIC FOOT CUBIC INCH CUBIC YARD CURB FACE	CORR. CSK. CU. CFM CU. FT. CU. IN. CU. YD. C.F.	GALVANIZED IRON GLASS GOVERNMENT GRAB BAR GRADE GRANITE GRATING GYPSUM BOARD	GL GL. GOVT. G.B. GR. GRAN. GRG. GYF. BD.	NOT TO SCALE NUMBER	N.T.S. NO. or #	STIFFENER STIRRUP STONE STRAIGHT GRADE STREET STRUCTURAL SUPPORT SURFACED 4 SIDES SUSPEND O.T.O O.D. O.F.C. O.F.M. O.F.S. O.F.D.	STIFF. STIR. STN. S.G. ST. STRUCTL. SUPT. SAS SUSP. SYM. SYMM.
B BASEMENT BEAM BETWEEN BLOCK BLOCKING BOARD BOARD OF AIRPORT COMMISSIONERS BOTH WAYS BOTTOM BOTTOM OF JOINT BOTTOM OF MULLION BOULEVARD BRACKET BRITISH THERMAL UNITS BRONZE BUILDING BUILT-UP	BSMT. BM BET. BLK. BLKG. BD. BOAC B.W. BOT. BOJ BOM BLVD. BRKT. BTU BRZ. BLDG. BU	D DEGREE DEPT. DETAIL DIAG. DIAMETER DIAG. or DIM. DISP. DIST. DIV. DR. DBL DWL DN D.S. DRAWING DRINKING FOUNTAIN	DEG. or ° DEPT. DET. DIAG. DIAMETER DIAG. or DIM. DISP. DIST. DIV. DR. DBL DWL DN D.S. DRAWING DRINKING FOUNTAIN	H HANDICAP HANGER HARDBOARD HARDWARE HARDWARE HARDWOOD HEADER HEIGHT HORIZONTAL HIGH POINT HOLLOW CORE HOLLOW METAL HORIZONTAL HORIZONTAL HOOK HOSE BIBB HOUR	HO/ HGR HBD HARD. HOW. HWD. HDR. HT. HEX. HP. H.C. H.M. HORIZ. HK. H.F. HR. P PTD. PAIR PANEL PART. PEDESTAL PENNY PERFORATED PERPENDICULAR PF PIECE PIPE BOLLARD PLASTER PLASTIC LAMINATE INFO ID. INSUL. INT. INT. OR INTER. INVERT	I I BEAM IN or ° INFORMATION INSIDE DIAMETER INSULATION INTERIOR INTERIOR GRADE INTERMEDIATE INVERT	I IN or ° INFO ID. INSUL. INT. INT. OR INTER. INV.	T TELEPHONE TEMPERATURE TERAZZO THICK or THICKNESS THRESHOLD T.O. TONGUE AND GROOVE T.B.G. TOP OF BANK TOP OF CURB TOP OF DECK TOP OF FINISH TOP OF GRATE TOP OF JOINT TOP OF MASONRY TOP OF PARAPET TOP OF STEEL TOP OF STRUCTURAL SLAB TOP OF WALL TREAD TURNBUCKLE TYPICAL	TEL. TEMP. TERR. THK. THLD T.O. T.B.G. T.O.B. T.O.C. T.M.D. T.O.F. T.G. T.O.J. T.O.M. T.O.P. TOS / T.O.S. T.S.S. T.O.W. T. TRNBKL. TYP.
C CABINET CARPET CAST IRON CAST IRON PIPE CATCH BASIN CEILING CEMENT CENTER CENTER TO CENTER CENTERLINE CERAMIC TILE CEMENT BOARD CHANGE CHANNEL CLEAN OUT CLEAR COLUMN COMMON COMMUNICATION COMPANY COMPOSITION CONCRETE CONCRETE BLOCK CONCRETE MASONRY UNIT CONNECTION CONSTRUCT or CONSTRUCTION CONTINUOUS or CONTINUE CONTRACT or CONTRACTOR CONTROL JOINT CORNER	CAB. CP. C.I. C.I.P. C.B. CLG. CEM. CTR. C.T.O. C CL or C.T. CT. CK BD. CHS. CHAN or [C.O. CLR. COL. COM. COMM. CO. COMPO. CONC. CONC. BLK. C.M.U. CONN. CONST. CONT. CONTR. C.J. COR.	F FABRIC WALL COVERING FABRIC WALL PANEL FACE OF FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FACTORY F.C.T. FOOT FIGURE FINISH FIN. F.F. F.P. F.E. F.H.C. F.H. F.J. FLG. F.H.W.S. FLOOR FLOOR DRAIN FLOOR SINK FLOW LINE FLUOROCARBON RESINOUS COATED FTG. FOUNDATION	F.W.C. F.W.P. F.O. F.O.C. F.O.M. F.O.S. FAC. FAC. FIG. FIN. F.F. F.P. F.E. F.H.C. F.H. F.J. FLG. F.H.W.S. FLOOR FLOOR DRAIN FLOOR SINK FLOW LINE FLUOROCARBON RESINOUS COATED FTG. FOUNDATION	M MACHINE MANHOLE MANUFACTURER or MANUFACTURING MANUFACTURERS ASSOC. MARK MASONRY OPENING MATERIAL MAXIMUM MECH. MC MMP MTL MEZZ. MEZZ. MFT. MIN. MISC. MLDG. MTD.	MACH. MH. MFR. NEMA MK. MO MAT. MAX. RM. RO. RD. R.B.	Q QUARRY TILE	Q	W WAREHOUSE WATER CLOSET WATER HEATER WATER RESISTANT WATERPROOF or WATERPROOFING WEIGHT WELDED WIRE FABRIC WEST WIDE FLANGE (STEEL) WIF WOOD Y YARD	WHSE WC W.H. WR WP WT WWF W. W W WD. YD.

NOT TO SCALE NUMBER	N.T.S. NO. or #	STIFFENER STIRRUP STONE STRAIGHT GRADE STREET STRUCTURAL SUPPORT SURFACED 4 SIDES SUSPEND O.T.O O.D. O.F.C. O.F.M. O.F.S. O.F.D.	STIFF. STIR. STN. S.G. ST. STRUCTL. SUPT. SAS SUSP. SYM. SYMM.
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DRAWING INDEX

GENERAL		LANDSCAPE	
G000	COVER SHEET	L101	LANDSCAPE PLAN
G001	TITLE SHEET		
REFERENCE		CIVIL	
R001	SITE SURVEY	C000	TITLE SHEET
R002	EXISTING TREE PLAN	C100	EROSION CONTROL PLAN
R003	EXISTING TREE DEMO PLAN	C210	GRADING PLAN
		C300	LOW IMPACT DEVELOPMENT/DRAINAGE PLAN
ARCHITECTURAL		C400	UTILITY PLAN
(E) A100	EXISTING SITE PLAN	C500	FIRE ACCESS PLAN
(E) A101	EXISTING OPEN SPACE SITE PLAN		
A100	EXISTING + PROPOSED SITE PLAN	ELECTRICAL	
A101	SITE PLAN	E200	NEW 4160VA MEDIUM VOLTAGE SERVICE FROM SCE SINGLE LINE DIAGRAM
A102	OPEN SPACE SITE PLAN		
A103	FLOOR PLANS	E201	METAL CLAD 5KV SWITCHGEAR ELEVATIONS
A104	FLOOR PLANS		
A200	COMPARATIVE SECTIONS	E400	ELECTRICAL YARD FOR BEACH CITIES FACILITY AT 15KV
A201	SITE SECTIONS		
A202	SITE SECTIONS		
A300	EXISTING NORTHEAST 3D MASSING VIEW		
A301	NORTHEAST 3D MASSING VIEW		
A302	NORTHWEST 3D MASSING VIEW		
A303	SOUTHEAST 3D MASSING VIEW		
A304	SOUTHWEST 3D MASSING VIEW		
A401	ELEVATIONS		
A402	ELEVATIONS		
A501	NORTHEAST PERSPECTIVE VIEW		
A502	SOUTHEAST PERSPECTIVE VIEW		
A601	MATERIALS + COLOR PALETTE		

CONSULTANT TEAM

ARCHITECT:	PAUL MURDOCH ARCHITECTS 6310 SAN VICENTE BLVD SUITE 400 LOS ANGELES, CA 90048 TEL: (310) 358-0993 EMAIL: PAUL@PAULMURDOCHARCHITECTS.COM
LANDSCAPE ARCHITECT:	PAMELA BURTON & COMPANY 1430 OLYMPIC BLVD. SANTA MONICA, CA 90404 TEL: (310) 828-6373 EMAIL: DCOLBECK@PAMELABURTONCO.COM
CIVIL ENGINEER:	LABIB FUNK & ASSOCIATES 319 MAIN STREET EL SEGUNDO, CA 90245 TEL: (213) 239-9700 EMAIL: KYLE.PROUTY@LABIBFUNK.COM
ELECTRICAL ENGINEER:	LUCCI + ASSOCIATES, INC. 3251 CORTE MALPASO #511 CAMARILLO, CA 93012 TEL: (805) 389-6519 EMAIL: KEN@LUCCILAND.COM

SYMBOLS

	NEW COLUMN GRID
	EXISTING COLUMN GRID LINE
	CENTERLINE
	PROPERTY LINE
	OBJECTS BEHIND
	OBJECTS ABOVE
	MATCH LINE
	SECTION/ WALL SECTION
	ROOM TAG
	ELEVATION REFERENCE
	DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE
	VIEW REFERENCE
	POINT ELEVATION / LEVEL TARGET
	WINDOW TYPE
	DOOR NUMBER
	REVISION NUMBER
	WALL ASSEMBLY TYPE

PROJECT SCOPE

THE PROPOSED BEACH CITIES HEALTH DISTRICT (BCHD) HEALTHY LIVING CAMPUS MASTER PLAN (PROJECT) WOULD REDEVELOP THE EXISTING BCHD CAMPUS LOCATED IN THE CITY OF REDONDO BEACH. THE PROPOSED PROJECT INCLUDES THE SITE DEVELOPMENT OF ASSISTED LIVING, MEMORY CARE, COMMUNITY SERVICES, MEDICAL SERVICE SPACE, A YOUTH CENTER, SURFACE PARKING, AND PROGRAMMABLE OPEN SPACE. THE PROJECT WILL BE CARRIED OUT IN THREE (3) PHASES:

PHASE 1A: RELOCATION OF EXISTING COOLING TOWERS AND GRADING AT NORTH OF SITE.

PHASE 1B: CONSTRUCTION OF THE PROPOSED BUILDING.

PHASE 1C: DEMOLITION OF THE EXISTING 514 BUILDING. CONSTRUCTION OF PARKING AND PROGRAMMABLE OPEN SPACE.

LEGAL DESCRIPTION

OWNER: BEACH CITIES HEALTH DISTRICT
PROJECT ADDRESS: 514 NORTH PROSPECT AVENUE
REDONDO BEACH, CA 90277

AIN#

7502-017-902
7502-017-903

Provide actual "Legal Description". There is some ambiguity concerning portion of 7502-017-903 (land vacated by city of Redondo Beach) 2010.

ZONING INFORMATION

LAND USE DESIGNATIONS AND ZONING REFERENCES:

- CITY OF REDONDO BEACH GENERAL PLAN (CITY OF REDONDO BEACH 2008, 2011, SECTION 3.10 LAND USE AND PLANNING).
- REDONDO BEACH ZONING ORDINANCE
- REDONDO BEACH MUNICIPAL CODE TITLE 10 PLANNING AND ZONING CHAPTER 2 ZONING AND LAND USE

AIN: 750-2017-902
ZONING DISTRICT: C-2 COMMERCIAL ZONE
LAND USE: C-2, COMMERCIAL
AREA: 0.43 ACRES

SETBACKS: FRONT SET BACK 5'-0" MIN. REQUIRED 11'-0" PROPOSED 11'-0"
FRONT UTILITY SET BACK 11'-0" PROPOSED 11'-0"
SIDE SET BACK 10'-0" PROPOSED 10'-0"
Interior side setback: 8'-0"
Rear setback: 10'-0"

HEIGHTS: MAX. HEIGHT 30'-0" FROM CENTER LINE OF (E) GRADE PROPOSED 30'-0"

AIN: 7502-017-903
ZONING DISTRICT: P-CF COMMUNITY FACILITY ZONE
LAND USE: P PUBLIC OR INSTITUTIONAL
AREA: 9.94 ACRES

SETBACKS: SETBACKS SHALL BE DETERMINED SUBJECT TO PLANNING COMMISSION DESIGN REVIEW.

HEIGHTS: MAX. HEIGHT 107'-6" PROPOSED 107'-6"

*HEIGHT OF BUILDINGS OR STRUCTURES SHALL BE DETERMINED SUBJECT TO PLANNING COMMISSION DESIGN REVIEW.

BUILDING DATA

BUILDING CONSTRUCTION TYPE: I-A UNSEPARATED OR 2A WITH VERTICAL SEPARATION

BUILDING OCCUPANCY: ASSISTED LIVING: R-2.1
MEMORY CARE: I-2
COMMUNITY SERVICES: A-3 (ACCESSORY TO ASSISTED LIVING AND MEMORY CARE)
PACE MEDICAL SERVICE: I-2.1
YOUTH WELLNESS CENTER: A-3 (ACCESSORY TO ASSISTED LIVING AND MEMORY CARE)
SERVICE/ PARKING: S-2

BUILDING HEIGHT: 108'-8"

NO. OF STORIES: 6.5 STORIES ABOVE AND 2 BASEMENT STORIES

GROSS FLOOR AREA: 292,170 SF

FAR: ?

VICINITY MAP



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
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NO. DATE REVISION

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HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

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REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
TITLE SHEET

SCALE

DATE
02/02/2022

DRAWN
AO PM

SHEET NO.

G001

BERYL STREET

NOT A PART
OF THIS
SURVEY

FLAGLER LANE

TOWERS ST.

CARNELIAN STREET (VACATED)

PROSPECT AVENUE

PARCEL MAP NO. 13030
1

DIAMOND ST.

LEGEND

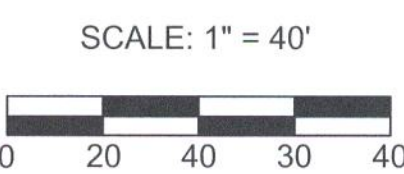
- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BEGINNING OF CURB RETURN
- CENTERLINE
- EASTERLY
- FOUND
- FINISH FLOOR
- FIRE HYDRANT
- FLOW LINE
- GARAGE FINISH FLOOR
- GAS METER
- GLY WIRE
- LEAD AND TAG
- MANHOLE
- NORTHERLY
- PROPERTY CORNER
- PROPERTY LINE
- POWER POLE
- SPIKE AND WASHER
- SOUTHERLY
- SPIKE
- SANITARY SEWER MANHOLE
- STAKE
- STREET LIGHT
- TOP OF CURB
- TOP OF WALL
- TOP OF DRIVEWAY APRON
- WESTERLY
- WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

LINE TABLE		
Course	Bearing	Distance
L1	N 54°27'45" E	18.22'
L2	N 68°41'19" E	36.23'
L3	N 56°07'14" E	33.64'
L4	N 61°10'11" E	30.80'
L5	N 47°58'42" E	21.18'
L6	N 34°45'39" W	2.57'
L7	S 25°00'14" W	19.72'
L8	S 33°30'59" W	47.04'
L9	S 25°58'25" W	63.88'
L10	S 34°29'00" W	72.68'
L11	S 43°48'19" W	8.66'
L12	N 85°19'44" W	31.63'
L13	N 63°20'39" W	10.45'
L14	N 58°11'03" W	6.33'

CURVE TABLE			
Curve	Radius	Length	Delta
C1	15.00'	12.77'	48°47'35"
C2	15.00'	23.50'	89°46'17"
C3	15.00'	29.02'	110°51'36"



JOB ADDRESS
514 N. PROSPECT AVE.
REDONDO BEACH, CA

LEGAL DESCRIPTION
PARCEL 1
P.M. NO. 13030
P.M.B. 144-3
APN 7502-017-901

NOTE: TOPOGRAPHY BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY OLYMPIC MAPPING.

FOR REFERENCE ONLY

SURVEY AND TOPOGRAPHY
FOR
KELLY OLIN
BEACH CITIES HEALTH DISTRICT
514 N. PROSPECT AVE.
REDONDO BEACH, CA 90277
310-374-3426 EXT. 141

DATE: 03-07-2013
REV

DRAWN BY: CE

CHECKED BY: TS

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE, RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEYS FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

GARY J. ROEHL R.C.E. 30826

DENN
ENGINEERS

3914 DEL AMO BLVD, SUITE 921 * TORRANCE, CA 90503 * (310) 542-9433

JOB NO.
12-444
SHEET
1
OF
1

NOTE:
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BERYL STREET

NOT A PART
OF THIS
SURVEY

NOT A PART
OF THIS
SURVEY

FLAGLER LANE

TOWERS ST.

CARNELIAN STREET (VACATED)

PROSPECT AVENUE

PARCEL MAP NO. 13030

1

DIAMOND ST.

LEGEND

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- EXISTING FENCE
- BLOCK WALL
- BOR - BEGINNING OF CURB RETURN
- CL - CENTERLINE
- ELY - EASTERLY
- FD - FOUND
- FF - FINISH FLOOR
- FL - FLOW LINE
- FL - FIRE HYDRANT
- FL - FLOW LINE
- OFF - GARAGE FINISH FLOOR
- GM - GAS METER
- GW - GUY WIRE
- L&T - LEAD AND TAG
- MH - MANHOLE
- NLY - NORTHERLY
- PC - PROPERTY CORNER
- PL, PL - PROPERTY LINE
- PP - POWER POLE
- S&W - SPIKE AND WASHER
- SLY - SOUTHERLY
- SPK - SPIKE
- SSMH - SANITARY SEWER MANHOLE
- STK - STAKE
- STLT - STREET LIGHT
- TC - TOP OF CURB
- TW - TOP OF WALL
- TX - TOP OF DRIVEWAY APRON
- WLY - WESTERLY
- WM - WATER METER

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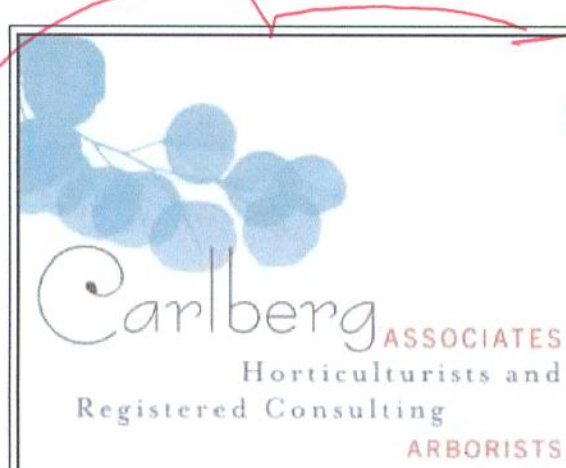
TREE INVENTORY LEGEND

INVENTORIED TREE

Date prepared: 08/22/19
Prepared by: S. McAllaster, ISA Certified Arborist
Reviewed by: Cy Carlberg, RCA #405

FOR REFERENCE ONLY

Provide arborist tree report and inventory - Need legend of trees. Trunk diameter, tree species, height. Tree replacement may be required.



TREE LOCATION EXHIBIT
BEACH CITIES HEALTH DISTRICT
514 NORTH PROSPECT AVENUE, REDONDO BEACH, CALIFORNIA 90277
PREPARED FOR: BEACH CITIES HEALTH DISTRICT
514 NORTH PROSPECT AVENUE, REDONDO BEACH, CA 90277

www.cycarlberg.com



Date: 08.22.19 By: S. McAllaster

SURVEY AND TOPOGRAPHY

FOR
KELLY OLIN
BEACH CITIES HEALTH DISTRICT
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DRAWN BY: CE CHECKED BY: TS
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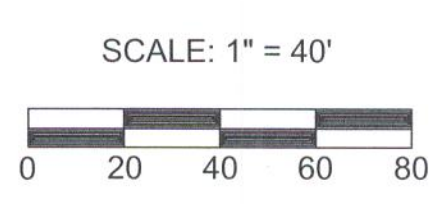
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JOB NO. 12-444
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NOTE: TOPOGRAPHY BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY OLYMPIC MAPPING.



NOTE: A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.

BERYL STREET

CARNELIAN STREET (VACATED)

PROSPECT AVENUE

FLAGLER LANE

TOWERS ST.

DIAMOND ST.



SYMBOL LEGEND

- EXISTING TREES TO BE DEMOLISHED
 - EXISTING TREES TO REMAIN
- Need legend to go along with inventory - trunk diameter, tree height, species.
- Replacement plan likely required.

FOR REFERENCE ONLY



PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 355-0993

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

NO. DATE REVISION

BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

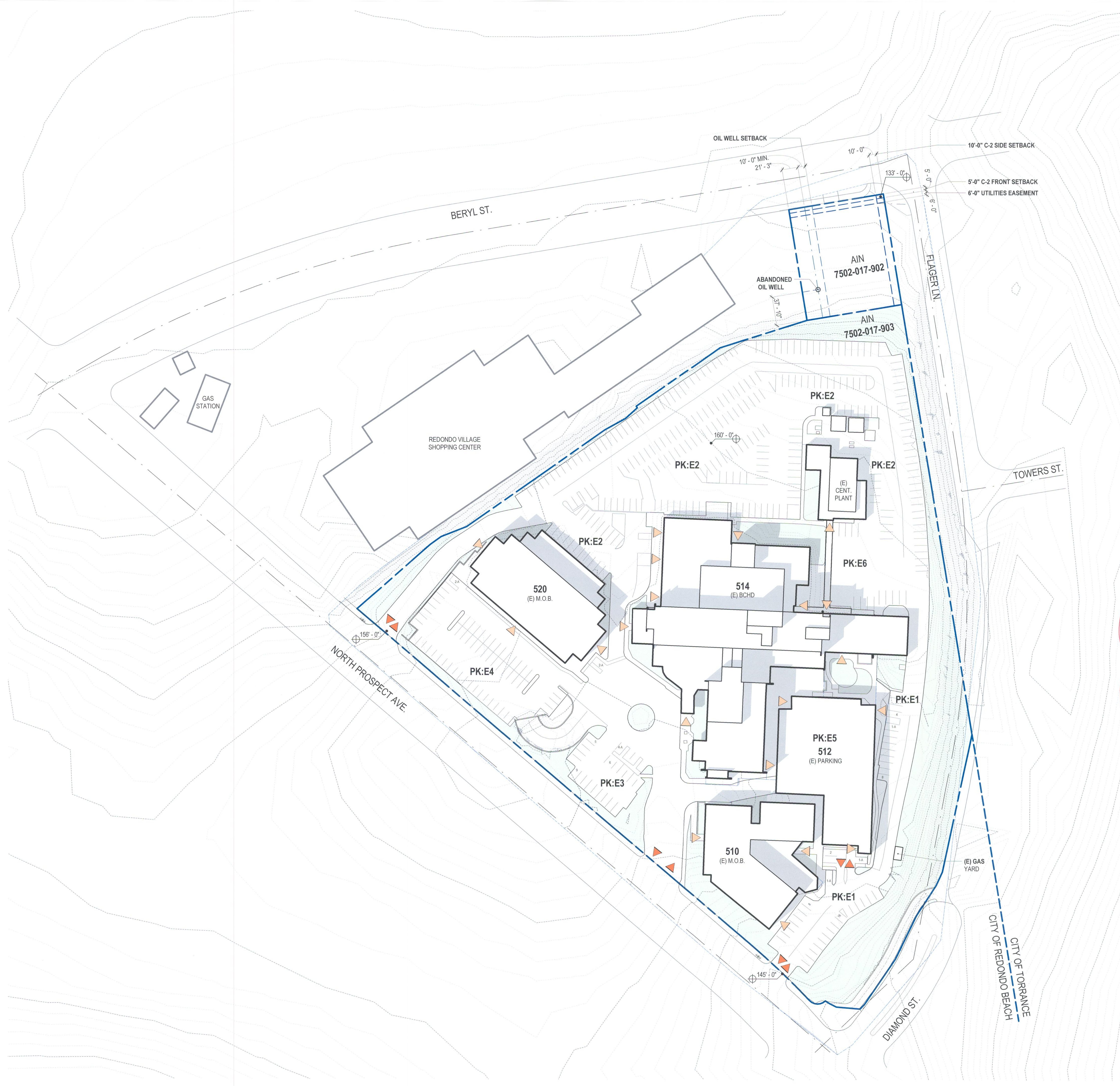
DRAWING TITLE
EXISTING TREE DEMO PLAN

SCALE
1" = 40'

DATE
02/02/2022

DRAWN CHECKED
Author Checker

SHEET NO.
R003



EXISTING LAND USE DESIGNATIONS AND ZONING

AIN: 7502-017-903

ZONING DISTRICT P-CF COMMUNITY FACILITY ZONE

LAND USE: P PUBLIC OR INSTITUTIONAL

AREA: 9.94 ACRES

AIN: 750-2017-902

ZONING DISTRICT C-2 COMMERCIAL ZONE

LAND USE: C-2, COMMERCIAL

AREA: 0.43 ACRES

LAND USE DESIGNATIONS AND ZONING REFERENCES:

- CITY OF REDONDO BEACH GENERAL PLAN (CITY OF REDONDO BEACH 2008, 2011, SECTION 3.10 LAND USE AND PLANNING),
- REDONDO BEACH ZONING ORDINANCE
- REDONDO BEACH MUNICIPAL CODE TITLE 10 PLANNING AND ZONING CHAPTER 2 ZONING AND LAND USE

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EXISTING SITE OPEN SPACE

HILLSIDE	50,950 SF
OTHER	31,910 SF
TOTAL EXISTING OPEN SPACE	82,940 SF

EXISTING PARKING

PK:E1	41 SPACES	3 ACCESSIBLE
PK:E2	257 SPACES	3 ACCESSIBLE
PK:E3	24 SPACES	4 ACCESSIBLE
PK:E4*	281 SPACES	8 ACCESSIBLE
PK:E5*	199 SPACES	2 ACCESSIBLE
PK:E6*	11 SPACES	0 ACCESSIBLE
TOTAL*	813 TOTAL	20 ACCESSIBLE
*TOTAL PK:E4 SURFACE	281 SPACES	8 ACCESSIBLE
P1	62 SPACES	4 ACCESSIBLE
P2	107 SPACES	4 ACCESSIBLE
*TOTAL PK:E5	112 SPACES	0 ACCESSIBLE
TOP DECK	59 SPACES	0 ACCESSIBLE
2ND LEVEL	52 SPACES	0 ACCESSIBLE
1ST LEVEL	53 SPACES	2 ACCESSIBLE
UNDERGROUND	35 SPACES	0 ACCESSIBLE
*TOTAL (E) SURFACE	395 SPACES	14 ACCESSIBLE
*TOTAL (E) STRUCTURE	418 SPACES	6 ACCESSIBLE

*PARKING SPACES SUBTOTALS + TOTALS INCLUDE ACCESSIBLE SPACES.

Provide analysis of existing parking vs. existing uses per RBMC parking standards to confirm if parking is conforming or legal non-conforming.

SYMBOL LEGEND

- PEDESTRIAN ENTRY / EXIT
- VEHICULAR ENTRY / EXIT

NO. DATE REVISION

BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

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DRAWING TITLE
EXISTING SITE PLAN

SCALE
AS INDICATED

DATE
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(E) A100



EXISTING SITE OPEN SPACE	
SOFTSCAPE	83,900 SF
UNDEVELOPED LAND	18,900 SF
HARDSCAPE	228,900 SF
BUILDINGS	120,400 SF
TOTAL SITE AREA	452,100 SF
TOTAL OPEN SPACE	331,700 SF

*PROGRAMMABLE OPEN SPACE 0.03 ACRES

SYMBOL LEGEND

- SOFTSCAPE
18% OF TOTAL SITE AREA
- PROGRAMMABLE OPEN SPACE
0.3% OF TOTAL SITE AREA
- UNDEVELOPED LAND
4% OF TOTAL SITE AREA
- HARDSCAPE
51% OF TOTAL SITE AREA
- BUILDINGS
27% OF TOTAL SITE AREA

HARDSCAPE + BUILDING EQUALS 78% OF TOTAL SITE AREA

PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 358-0983

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NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
EXISTING OPEN
SPACE SITE PLAN

SCALE
AS INDICATED

DATE
02/02/2022

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AO

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PM

SHEET NO.

(E) A101



EXISTING SITE PLAN



PROPOSED SITE PLAN - Phase 1? or inclusive of all phases?

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ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310.555-0993

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NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.

19010

DRAWING TITLE

EXISTING +
PROPOSED SITE
PLAN

SCALE

DATE

02/02/2022

DRAWN CHECKED

EC PM

SHEET NO.

A100



SITE OPEN SPACE

MAIN CAMPUS	114,420 SF
HILLSIDE	45,850 SF
OTHER	35,800 SF
TOTAL OPEN SPACE	196,070 SF

PARKING

PK:E1	39 SPACES	3 ACCESSIBLE
PK:E4	279 SPACES	6 ACCESSIBLE
PK:E5	199 SPACES	2 ACCESSIBLE
TOTAL EXISTING*	517 SPACES	11 ACCESSIBLE
TOTAL NEW*	86 SPACES	6 ACCESSIBLE
TOTAL*	603 SPACES	17 ACCESSIBLE

*PARKING SPACES SUBTOTALS + TOTALS INCLUDE ACCESSIBLE SPACES

SYMBOL LEGEND

- PEDESTRIAN ENTRY / EXIT
- VEHICULAR ENTRY / EXIT
- ACCESSIBLE PATH OF TRAVEL

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310.558.0863

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Provide analysis of proposed parking vs. proposed SF at proposed uses per RBMC parking standards to confirm project complies with parking requirements.

Include spot elevations throughout the site
• Existing spot elevations
• Proposed spot elevations (FF)

NO. DATE REVISION

BEACH CITIES HEALTH DISTRICT
HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.

19010

DRAWING TITLE

SITE PLAN

SCALE

AS INDICATED

DATE

02/02/2022

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SHEET NO.

A101

SITE PLAN
1" = 50'-0"



Confirm PL
Identify setbacks
to confirmed PL

SITE OPEN SPACE

SOFTSCAPE	203,500 SF
HARDSCAPE	139,000 SF
TOTAL SITE AREA	452,100 SF
TOTAL OPEN SPACE	342,500 SF
*PROGRAMMABLE OPEN SPACE	2.12 ACRES



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310.555-0993

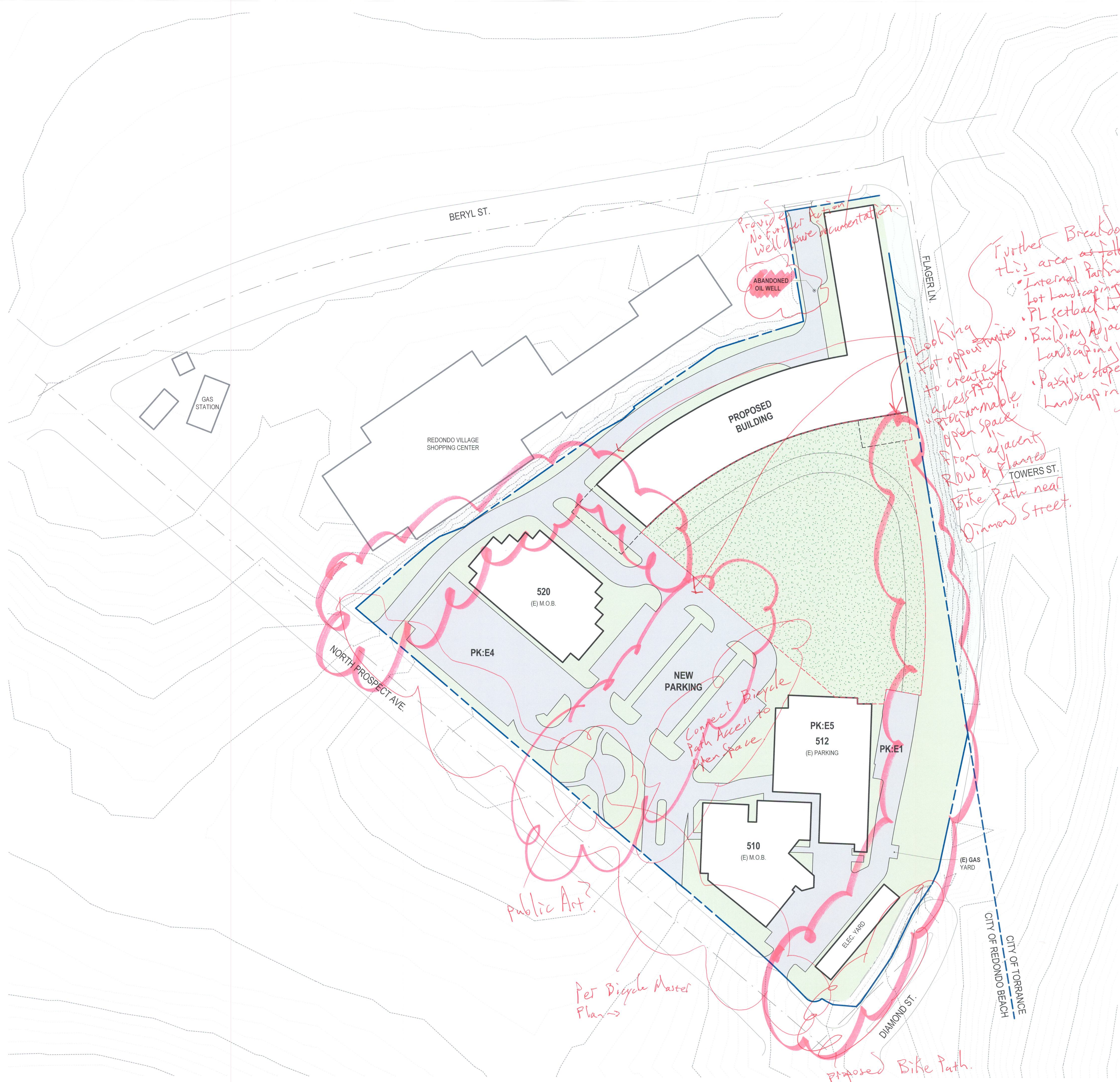
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SYMBOL LEGEND

	SOFTSCAPE 25% OF TOTAL SITE AREA
	PROGRAMMABLE OPEN SPACE 20% OF TOTAL SITE AREA
	HARDSCAPE 31% OF TOTAL SITE AREA
	BUILDING 24% OF TOTAL SITE AREA

HARDSCAPE + BUILDING EQUALS 55% OF TOTAL SITE AREA

Provide Proposed
* Programmable Open Space
Plan —
- Hours
- Access
- Utilization Requirements
- Management
- Joint Use Agreement?



OPEN SPACE SITE PLAN
1" = 50'-0"



NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
OPEN SPACE SITE
PLAN

SCALE
AS INDICATED
DATE
02/02/2022
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SHEET NO.

A102

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SV - SERVICE		YC - YOUTH WELLNESS CENTER		PACE - MEDICAL SERVICE SPACE		CS - COMMUNITY SERVICES		AL - ASSISTED LIVING		MC - MEMORY CARE		SYMBOL LEGEND	
B2 FLOOR	15,900 SF	1ST FLOOR	9,100 SF	B2 FLOOR	14,000 SF	1ST FLOOR	6,270 SF	B1 FLOOR	14,000 SF	1ST FLOOR	11,200 SF	◀ PEDESTRIAN ENTRY / EXIT	
								1ST FLOOR	12,500 SF	2ND FLOOR	38,800 SF	◀ VEHICULAR ENTRY / EXIT	
								TOTAL	26,500 SF	TOTAL	50,000 SF	■ VERTICAL CIRCULATION CORE	
AL TOTAL FOR ALL FLOORS = 196,900 SF		TOTAL AL + MC = 246,900 SF										0' 100' 200' 400' N	

Kitchen?

Provide Description Operational Plan

Provide Description Operational Plan

Provide Description Operational Plan

Provide Description Operational Plan

Provide Description Operational Plan - Rooms/Bees - Staffing

Provide Description Operational Plan - Rooms/Bees - Staffing

BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

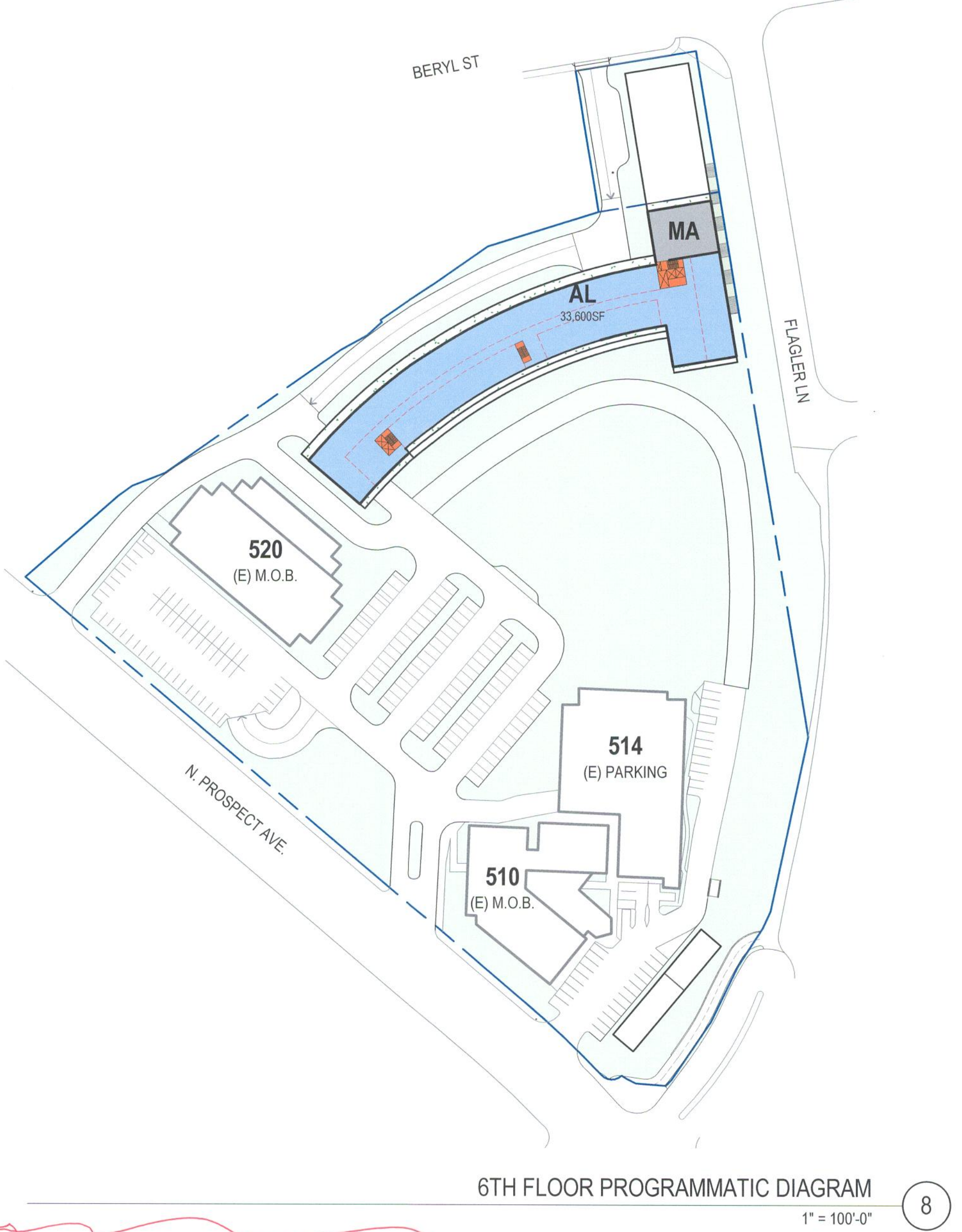
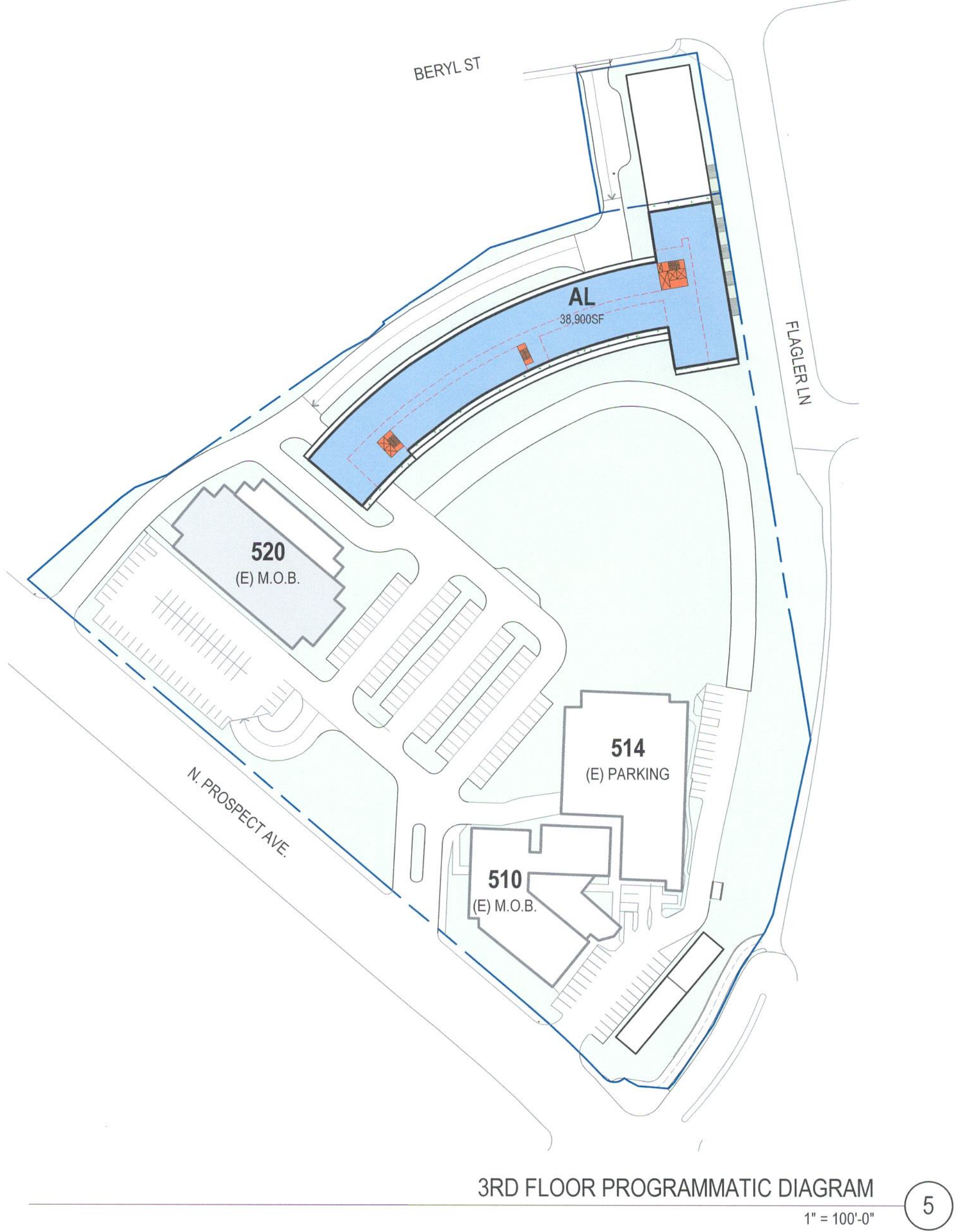
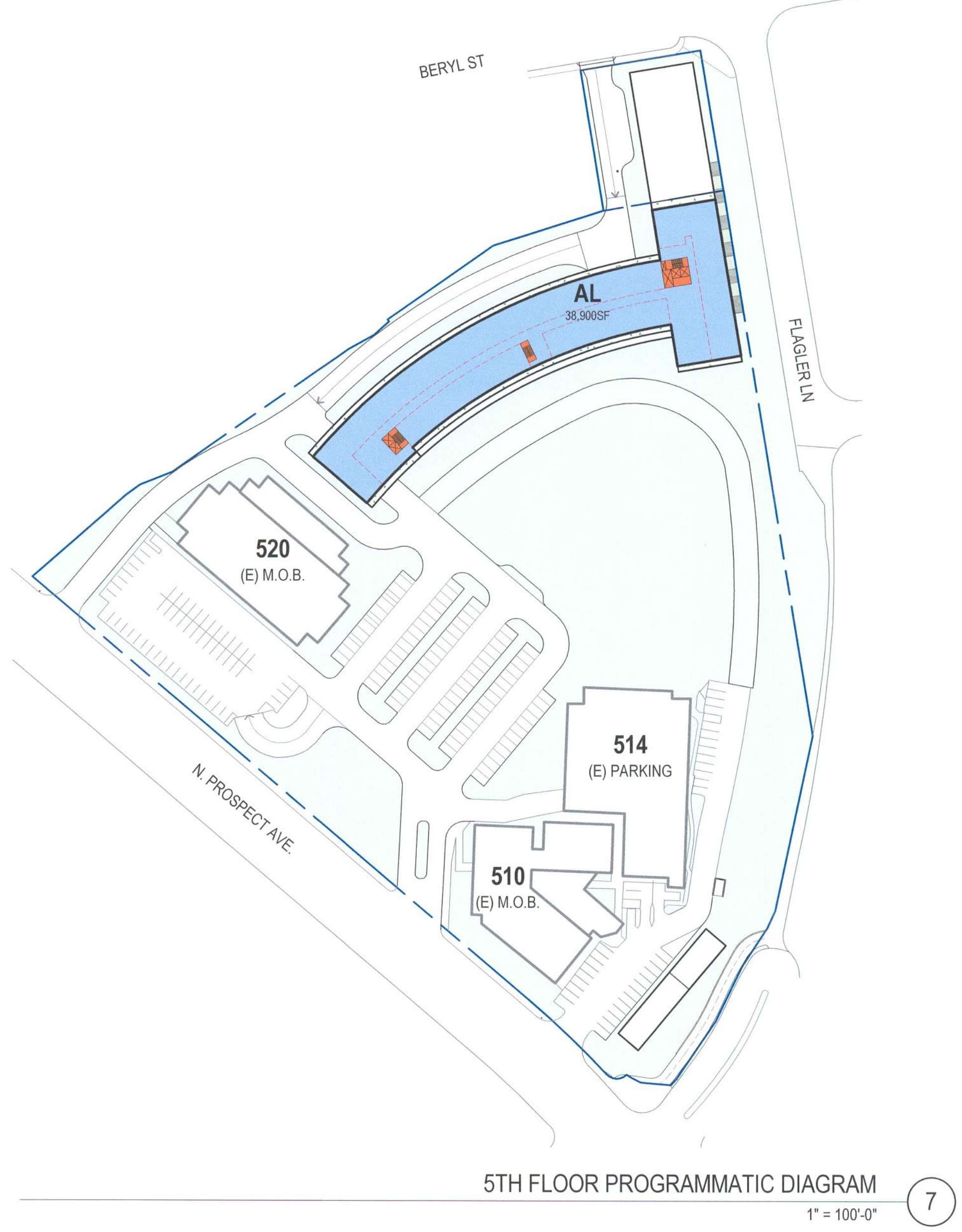
514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
FLOOR PLANS

SCALE
AS INDICATED
DATE
02/02/2022
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AO
CHECKED
PM
SHEET NO.

A103



Provide Description Operational Plan - Rooms/Beds - Staffing

	SF
3RD FLOOR	38,900
4TH FLOOR	38,900
5TH FLOOR	38,900
6TH FLOOR	33,600
6.5TH FLOOR	20,100
TOTAL	170,400

AL TOTAL FOR ALL FLOORS = 196,900 SF

AL - ASSISTED LIVING

provide screening details.

MA - ROOF TOP MECHANICAL AREA

Elevators & Stairs?

SYMBOL LEGEND

- ◀ PEDESTRIAN ENTRY / EXIT
- ◀ VEHICULAR ENTRY / EXIT
- VERTICAL CIRCULATION CORE

0' 100' 200' 400'

N

PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 558-0993

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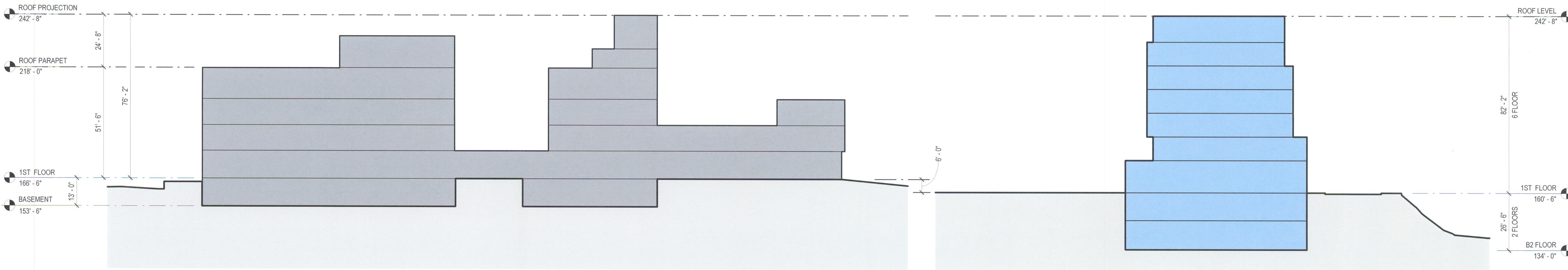
NO.	DATE	REVISION
<p>BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS</p> <p>514 NORTH PROSPECT AVE. REDONDO BEACH, CA 90277</p>		
<p>PMA PROJECT NO. 19010</p>		
<p>DRAWING TITLE FLOOR PLANS</p>		
<p>SCALE AS INDICATED</p> <p>DATE 02/02/2022</p> <p>DRAWN AO</p> <p>CHECKED PM</p> <p>SHEET NO. A104</p>		



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EXISTING 514 BUILDING

PROPOSED BUILDING

• Provide "Section Lines" on a "Key Plan"

• Identify orientation of "Comparative Sections"

NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.

19010

DRAWING TITLE

COMPARATIVE
SECTIONS

SCALE

1" = 20'-0"

DATE

02/02/2022

DRAWN CHECKED

AO PM

SHEET NO.

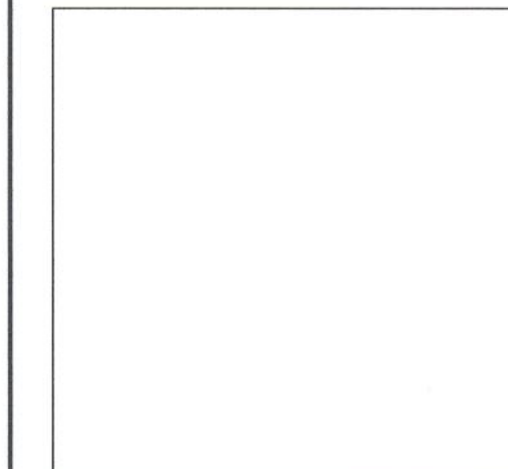
A200



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SITE SECTION -01
1" = 20'-0"

Need Key Plan identifying
"Site Section (1)"

Provide silhouette in lighter line weight.
Whatever structures you wish to
"show for reference"

SITE SECTION -02
1" = 20'-0"

Need Key Plan identifying
"Site Section (2)"

NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
SITE SECTIONS

SCALE
1" = 20'-0"

DATE
02/02/2022

DRAWN
AO

CHECKED
PM

SHEET NO.

A201

NORTH PROSPECT AVE.

ASSISTED LIVING
BEYOND

(E) M.O.B. BEYOND

NEW SURFACE PARKING

FLAGLER
LANE

ROOF LEVEL
242'-8"

6 FLOORS
82'-2"

1ST FLR.
160'-6"

2 FLOORS
26'-6"

B2 FLR.
134'-0"

(E) H.P. ROOFTOP PROJECTION
(SHOWN FOR REFERENCE)
242'-8"

(E) 514 ROOF PARAPET
(SHOWN FOR REFERENCE)
218'-0"

Need to silhouette is
lighter line weight
Whatever structures
you wish to
"show for reference"

H.P.?

(E) H.P. ROOFTOP PROJECTION
(SHOWN FOR REFERENCE)
242'-8"

(E) 514 ROOF PARAPET
(SHOWN FOR REFERENCE)
218'-0"

ROOF LEVEL
242'-8"

6 FLOORS
82'-2"

1ST FLR.
160'-6"

520 (E) M.O.B.
BEYOND

ASSISTED LIVING

ASSISTED LIVING

ASSISTED LIVING

ASSISTED LIVING

ASSISTED LIVING

MEMORY CARE

ASSISTED LIVING

(E) M.O.B. BEYOND

NEW SURFACE PARKING

DIAMOND
STREET

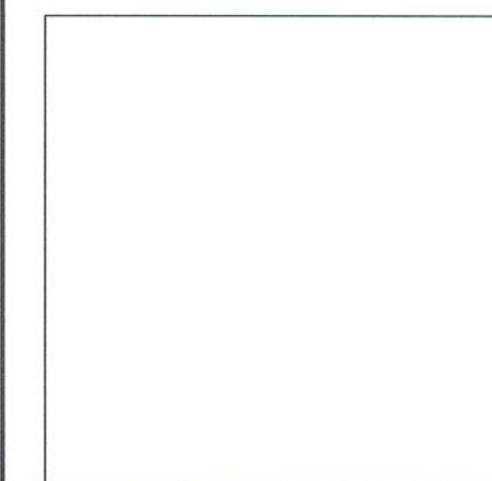
0' 100' 200' 400'



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310.358.0993

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BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

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19010

DRAWING TITLE
SITE SECTIONS

SCALE
1" = 20'-0"
DATE
02/02/2022
DRAWN
AO
CHECKED
PM
SHEET NO.

A202

Provide actual silhouette in
lighter line weight.

(E) H.P. ROOFTOP PROJECTION
(SHOWN FOR REFERENCE)
242' - 8"

(E) 514 ROOF PARAPET
(SHOWN FOR REFERENCE)
218' - 0"

6' - 0" UTILITIES SETBACK

5' - 0" SETBACK

MAX HEIGHT FROM
CL. OF LOT

ASSISTED LIVING

PACE

142' - 8"

(E) GRADE AT CL. OF LOT

133'-0" L²
BERYL STREET

30' - 0"

2 FLOORS

1ST FLR.
160' - 6"

B2 FLR.
134' - 0"

6 FLOORS

ROOF LEVEL
242' - 8"

6' - 0"

3' - 6"

2 FLOORS

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134' - 0"

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6' - 0"

3' - 6"

2 FLOORS

1ST FLR.
160' - 6"

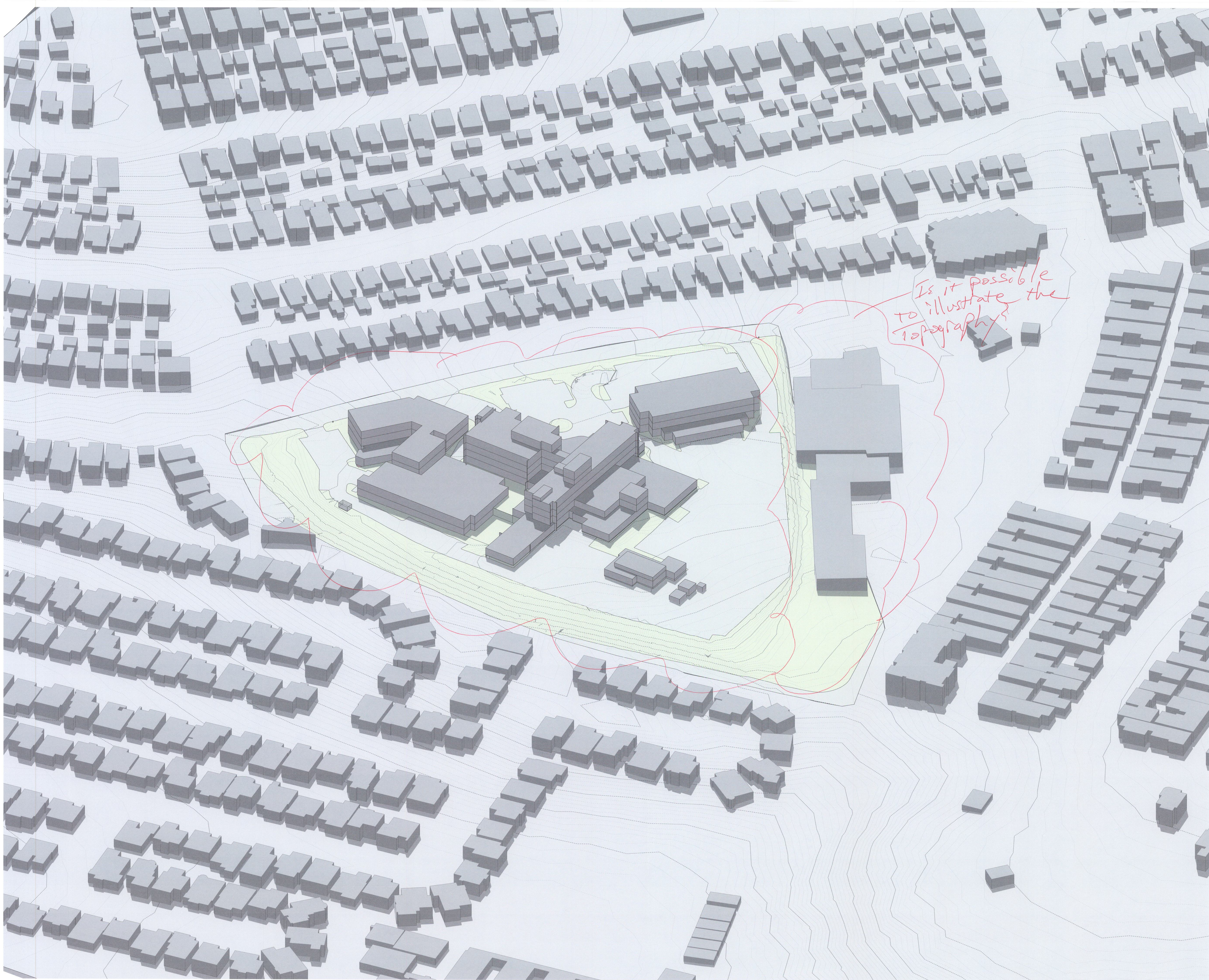
B2 FLR.
134' - 0"

6 FLOORS

ROOF LEVEL
242' - 8"

6' - 0"

3' - 6"



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
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310.558.0993

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NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
EXISTING
NORTHEAST 3D
MASSING VIEW

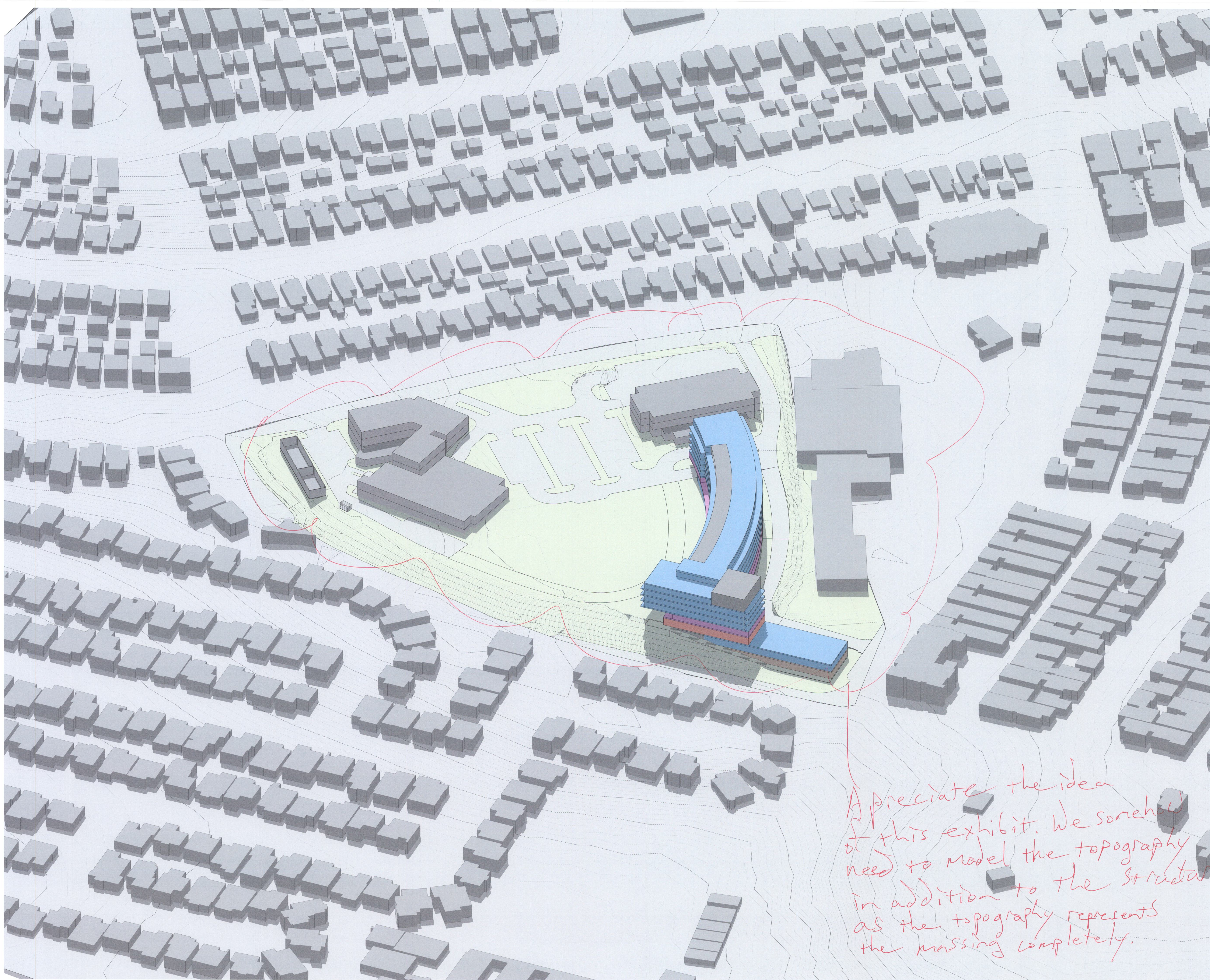
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PMA PROJECT NO.
19010

DRAWING TITLE
NORTHEAST 3D
MASSING VIEW

SCALE

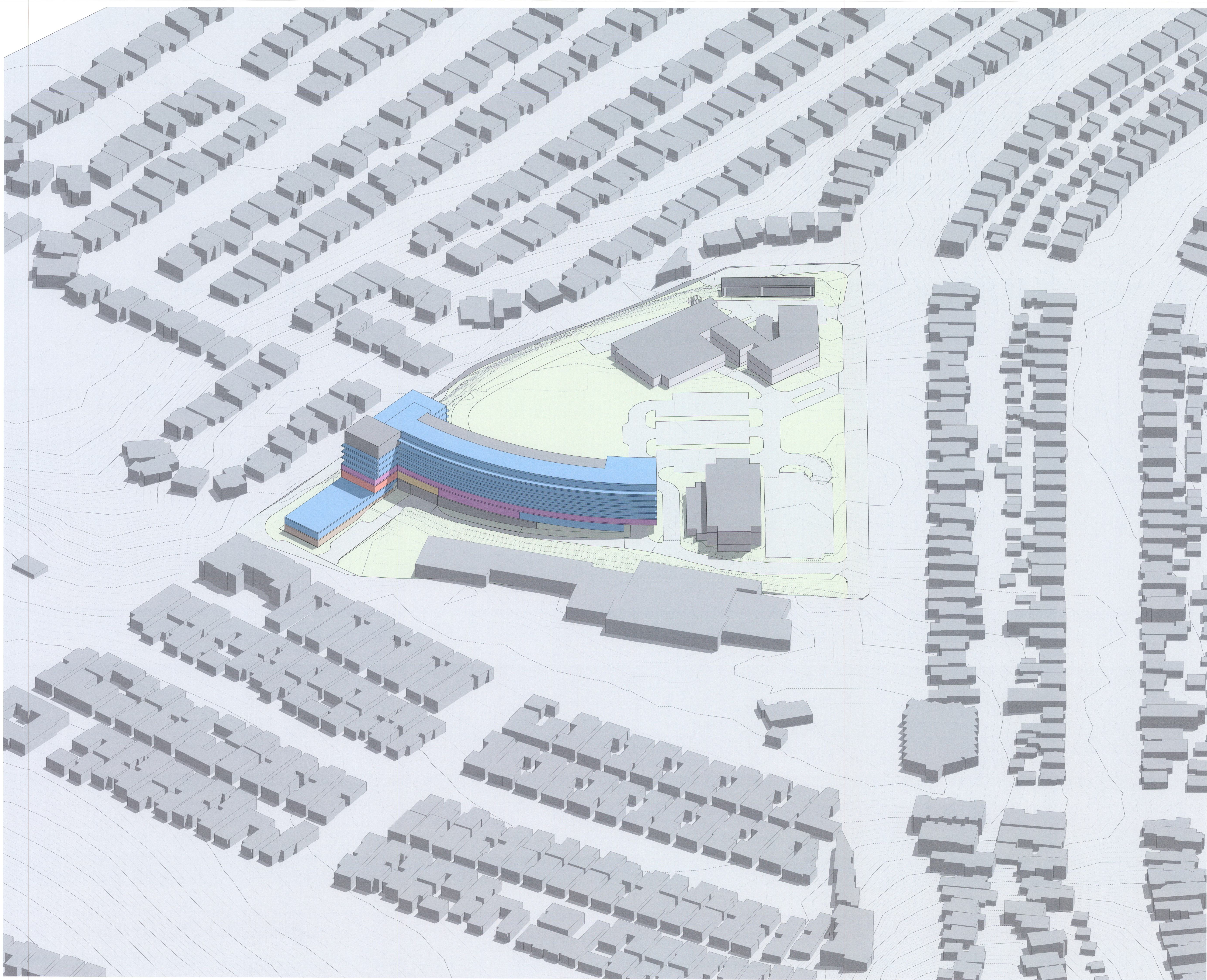
DATE
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A301

Appreciate the idea
of this exhibit. We somehow
need to model the topography
in addition to the structures
as the topography represents
the massing completely.



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PMA PROJECT NO.
19010

DRAWING TITLE
NORTHWEST 3D
MASSING VIEW

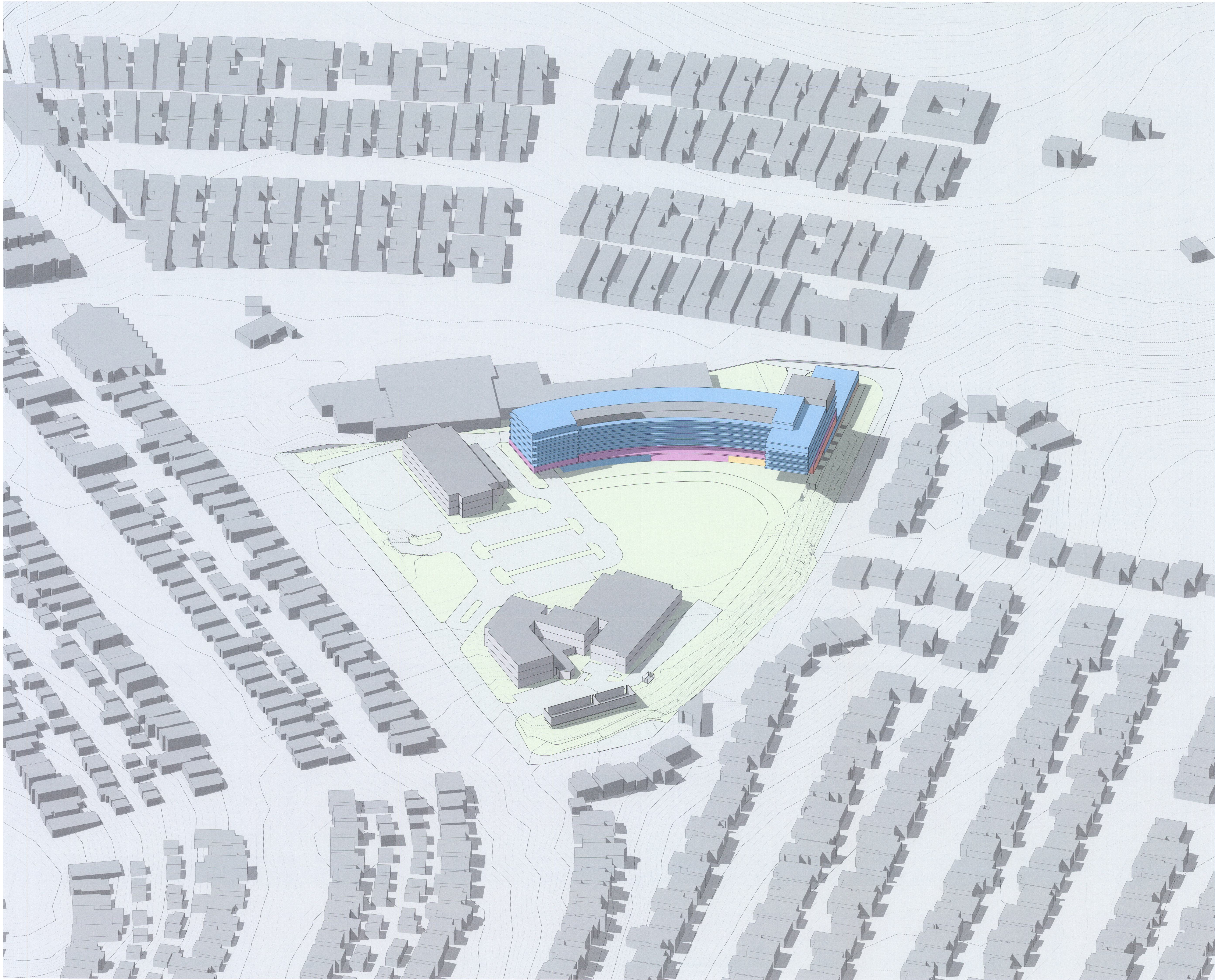
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A302



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HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

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REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE
SOUTHEAST 3D
MASSING VIEW

SCALE

DATE

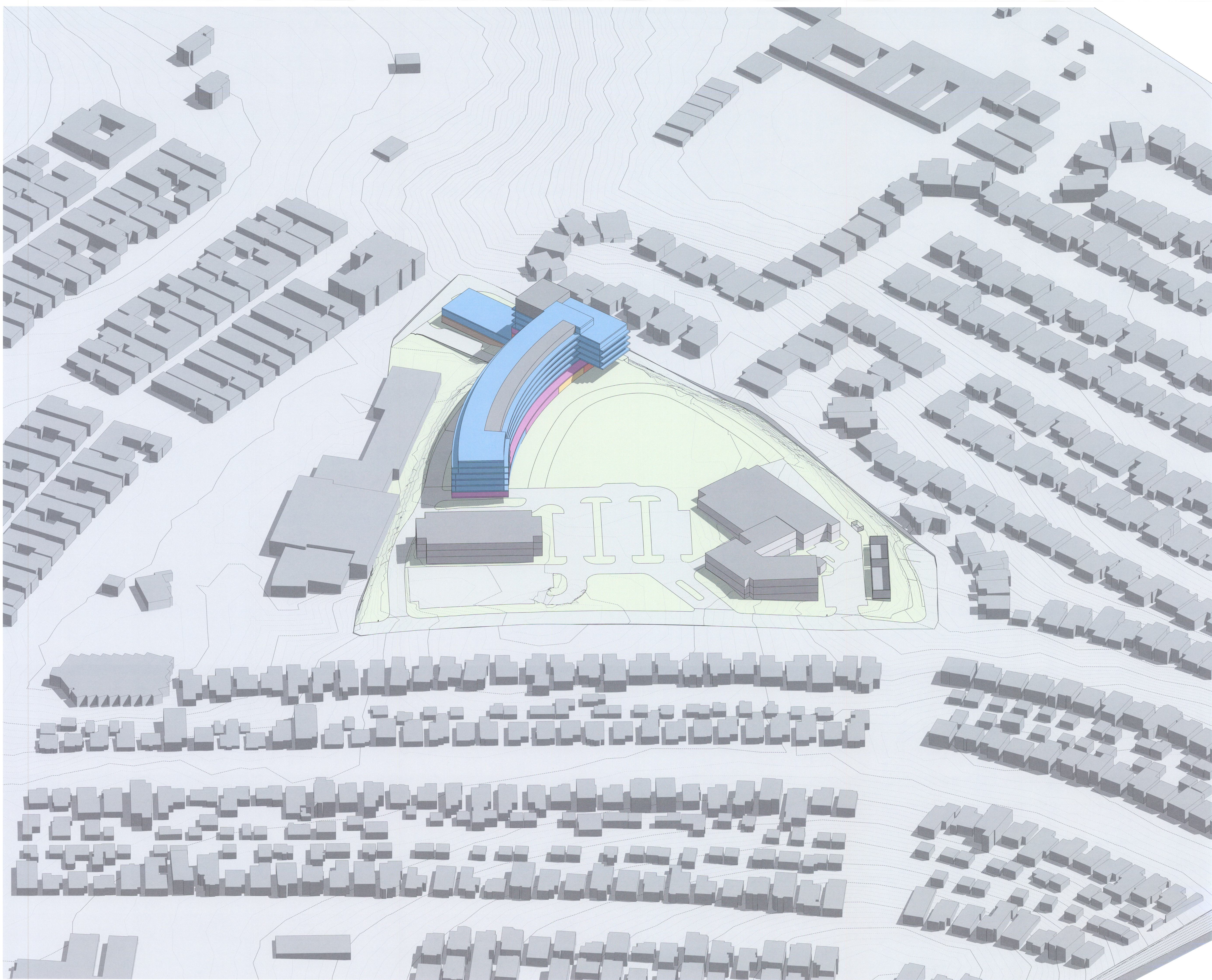
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A303



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PMA PROJECT NO.

19010

DRAWING TITLE

SOUTHWEST 3D
MASSING VIEW

SCALE

DATE

02/02/2022

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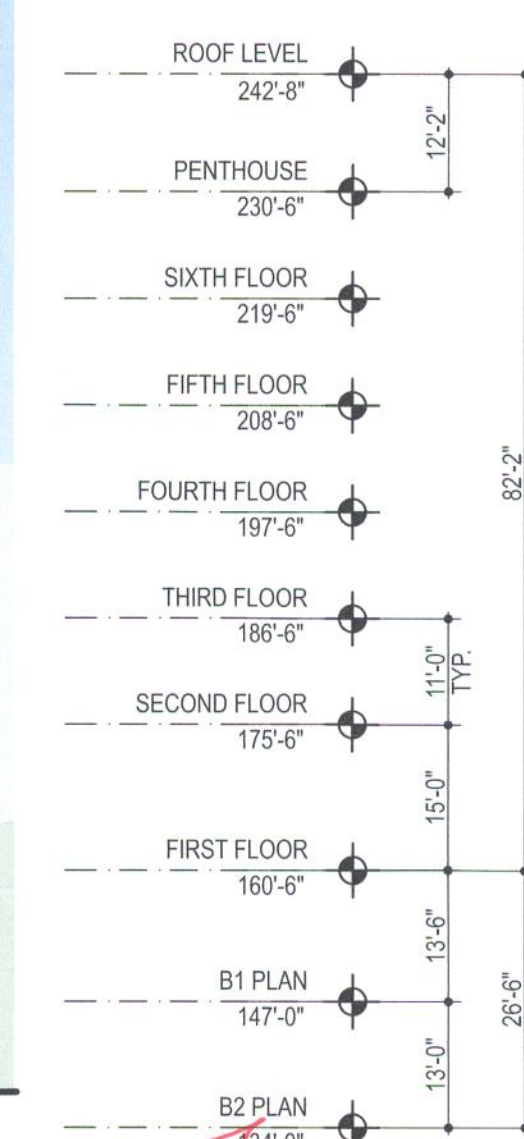
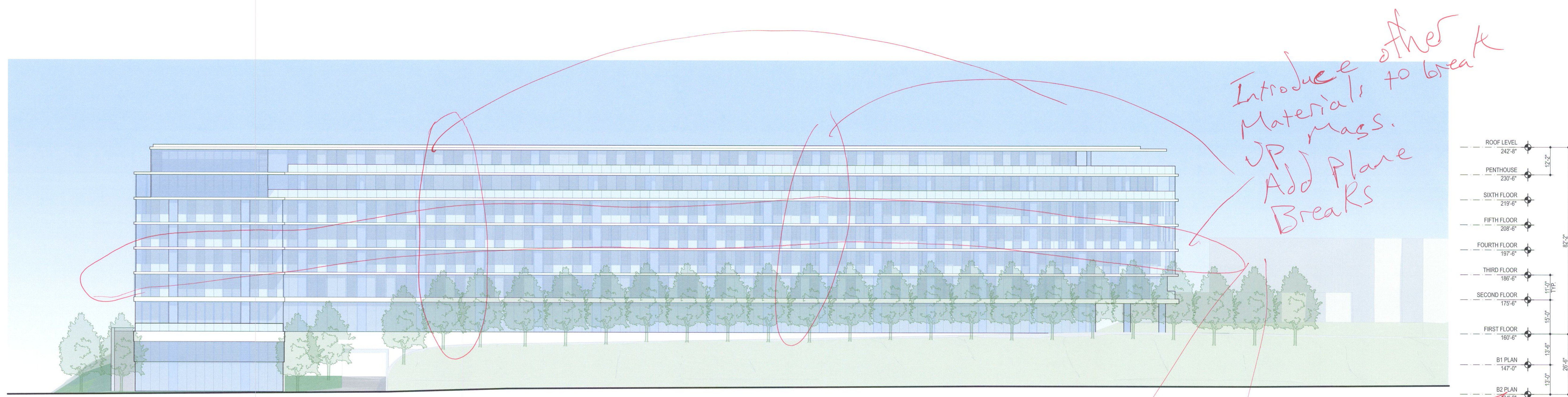
A304



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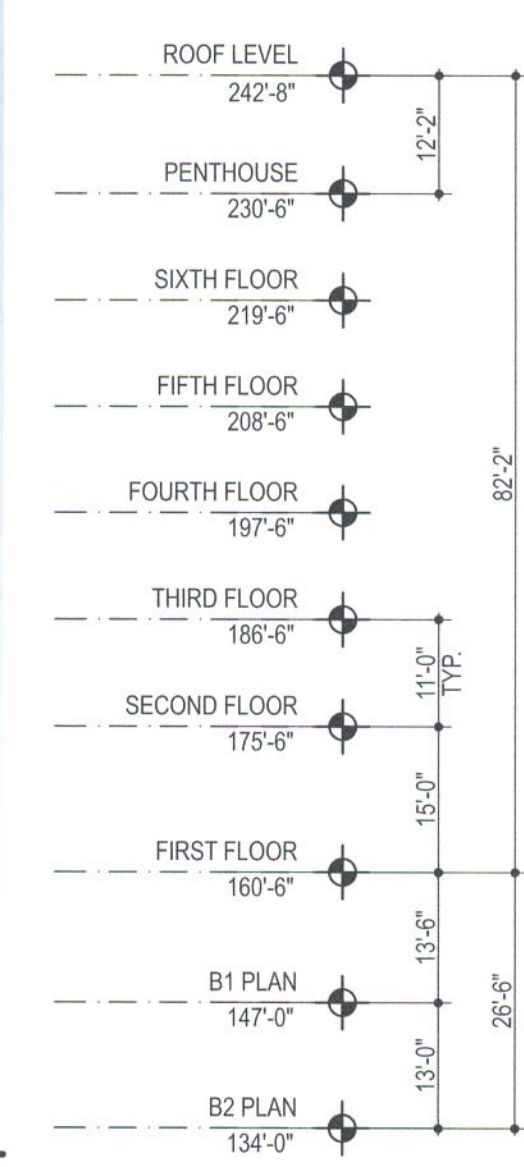
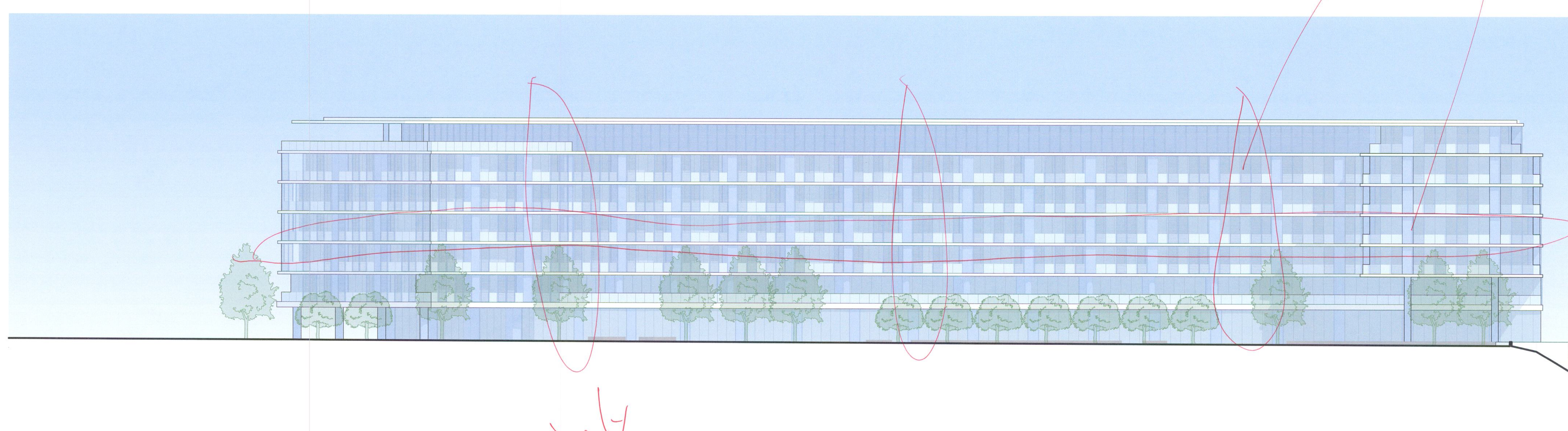
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EXTERIOR ELEVATION - NORTHEAST 1
1" = 20'-0"

Provide Key Map to understand view perspective



EXTERIOR ELEVATION - SOUTHEAST 2
1" = 20'-0"

provide Key Map to understand view perspective

Alternatively Project could also amend some facades of existing MOB's to achieve consistent architecture.

How are the proposed elevations compatible/integrated with existing MOB's to remain? Include some Architectural Elements that make site development consistent.



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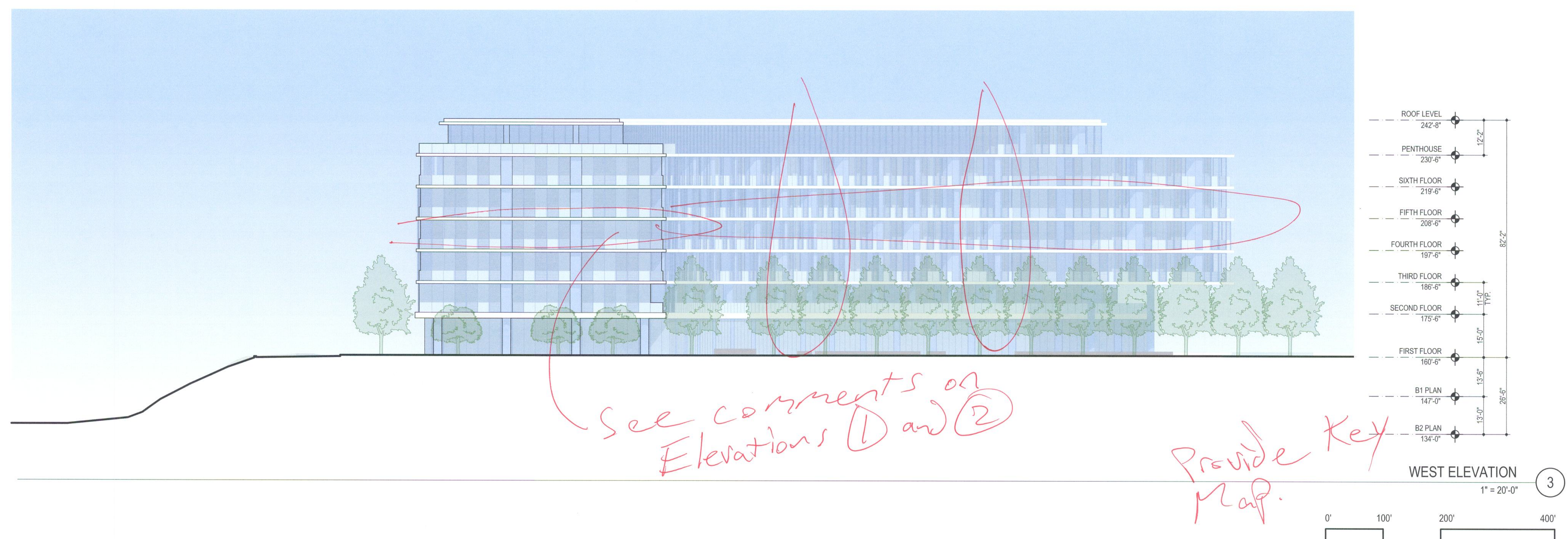
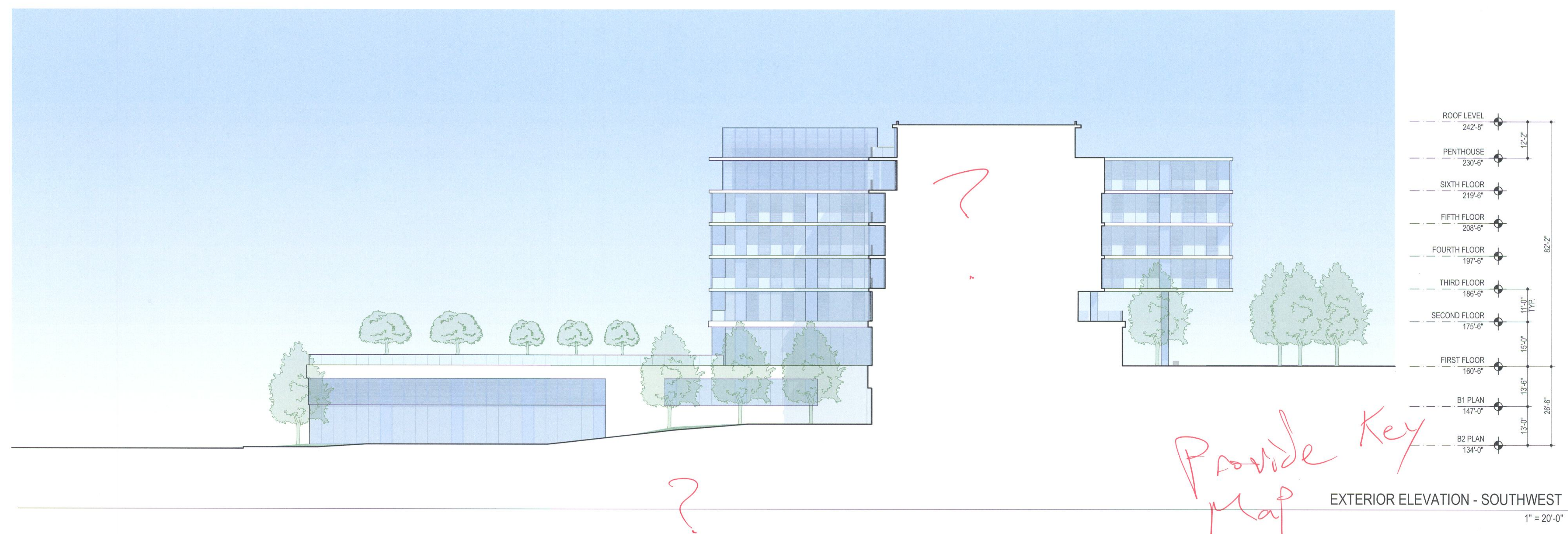
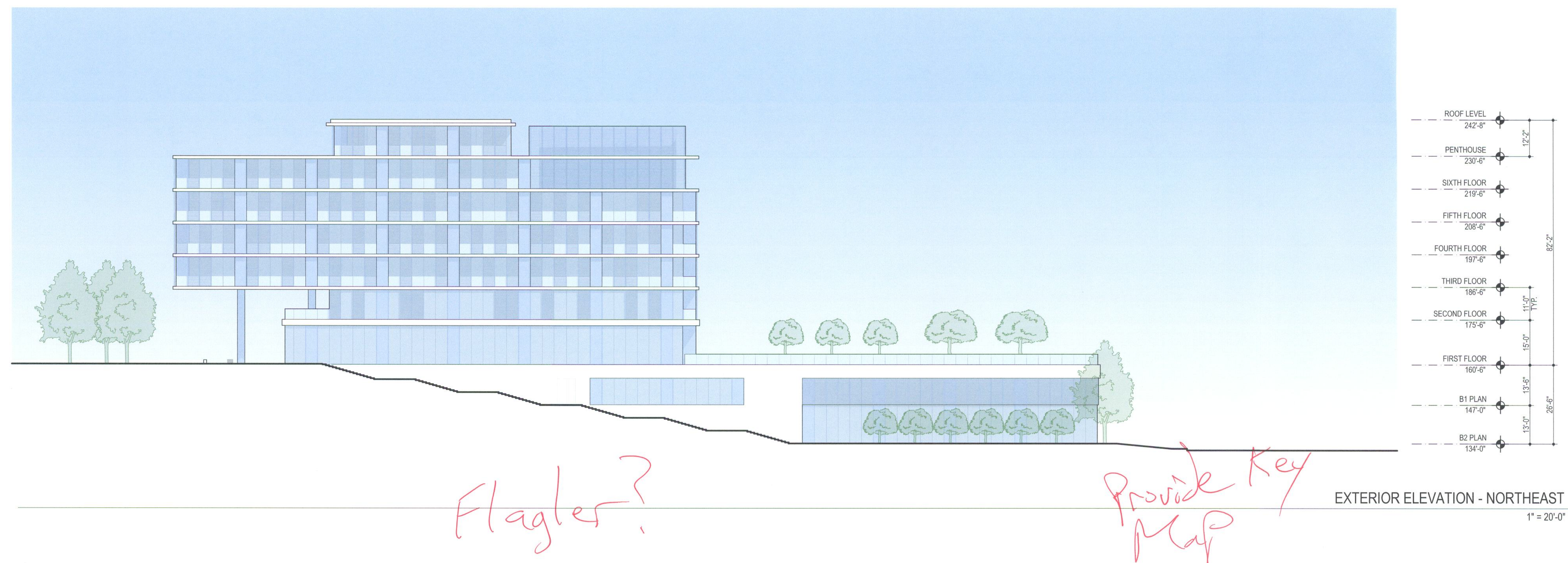
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PMA PROJECT NO.
19010

DRAWING TITLE
ELEVATIONS

SCALE
AS INDICATED
DATE
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A401



Add additional
Colors & Materials & Surfaces.



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PMA PROJECT NO.
19010

DRAWING TITLE
NORTHEAST
PERSPECTIVE VIEW

SCALE

DATE
02/02/2022

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PMA PROJECT NO.

19010

DRAWING TITLE

SOUTHEAST
PERSPECTIVE VIEW

SCALE

DATE

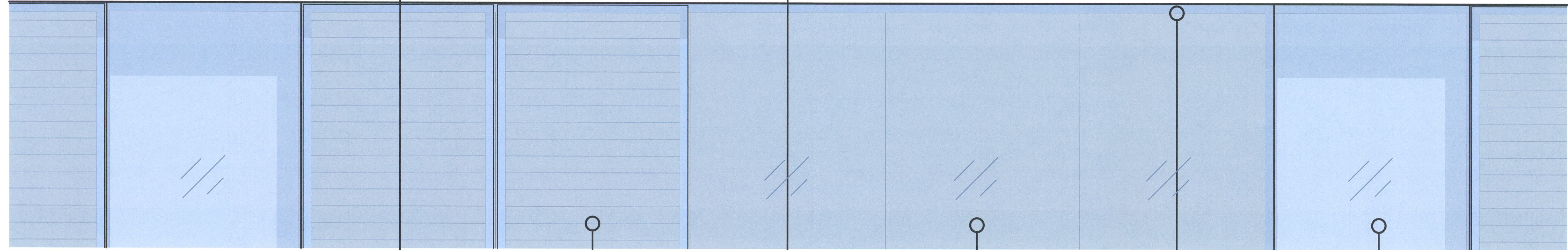
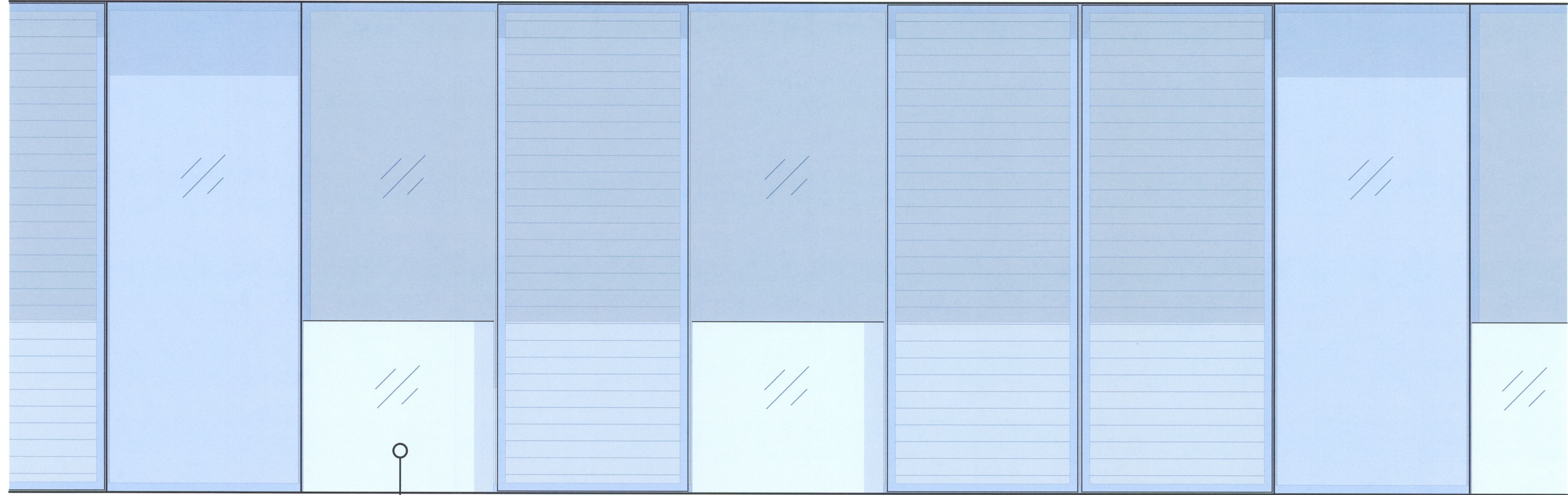
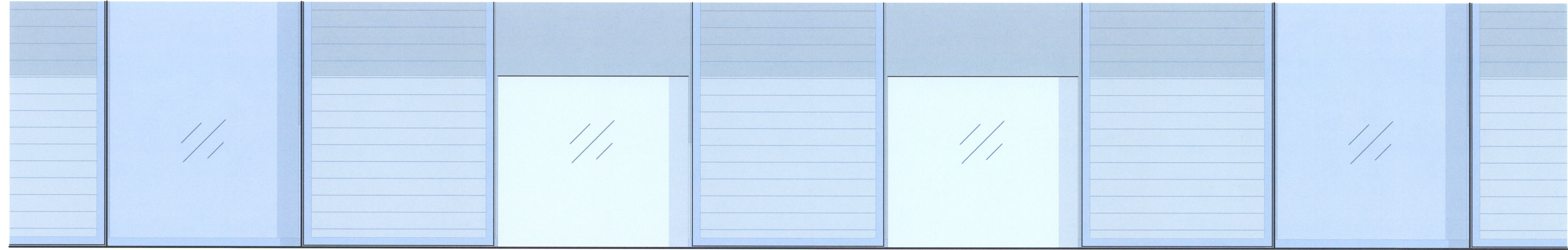
02/02/2022

DRAWN CHECKED

EC PM

SHEET NO.

A502



GLASS GUARDRAIL
TEMPERED SAFETY GLASS
COLOR: CLEAR

SLIDING SHADE SCREENS
PAINTED METAL
COLOR: SKY LIGHT BLUE

(GUARDRAIL + GLASS BEYOND)

EXPOSED STRUCTURE
PAINTED CONCRETE
COLOR: WHITE

VISION GLASS
DOUBLE GLAZED IGU
COLOR: TINTED BLUE-GREEN

CURTAINWALL SYSTEM
PAINTED METAL
COLOR: SKY LIGHT BLUE

SPANDREL GLASS
OPAQUE FINISH
COLOR: SKY LIGHT BLUE



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BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS		
514 NORTH PROSPECT AVE. REDONDO BEACH, CA 90277		
PMA PROJECT NO. 19010		
DRAWING TITLE MATERIALS + COLOR PALETTE		
SCALE		
DATE 02/02/2022		
DRAWN EC	CHECKED PM	
SHEET NO. A601		



LEGEND

- EXISTING TREE TO REMAIN
- SHADE / SCREENING TREE
- FLOWERING, ORNAMENTAL TREE
- SHRUB AND GROUNDCOVER PLANT MIX
- LAWN
- GRASS-CRETE FIRE LANE
- PEDESTRIAN WALKWAY
- SPECIALIZED PAVING

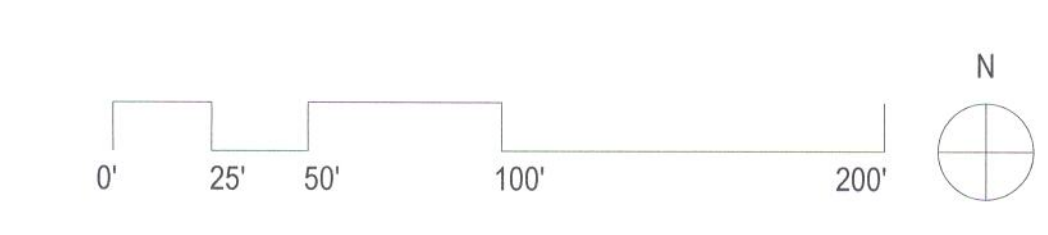
- 1 GARDEN ENTRY PLAZA**
 - Large specimen trees and shrub planting
 - Pergola, Water Feature, Directional Signage
 - Seating areas with shade for ride share waiting
- 2 MAIN STREET**
 - 26' Fire Lane
 - Tree lined promenade
 - Benches shaded by tree canopies
 - Location for Farmer's Market / Health Fair Expos
- 3 CENTRAL LAWN**
 - Natural lawn
 - Group Classes such as Yoga, Zumba, Meditation
 - Space for community events such as outdoor movies
 - Areas of trees for shade
- 4 FLEX DECK / GROUP EXERCISE PLATFORM**
 - Flexible use platform for small performances or group exercise classes
- 5 THE PORCH**
 - Casual, small scale dining spaces
 - Adirondack / Rocking Chairs
- 6 GARDEN ROOF DECK**
 - Flexible event space
 - Outdoor dining
 - Lounge areas with fire pits
- 7 WELLNESS WALK**
 - Distinct loop with distance markers and signage
 - Fitness stations, "Buddy" Benches, View areas
- 8 SENSORY GARDENS**
 - Butterfly / Habitat Garden Plantings that showcase color, texture, and smell
- 9 COMMUNITY DEMONSTRATION GARDEN**
 - Vegetable boxes and citrus trees
 - Area for demonstration classes to gather
- 10 OUTDOOR GARDEN ROOMS**
 - Shaded garden rooms for small groups, surrounded by lush planting
- 11 WALKING LABYRINTH**
- 12 BIKE PARKING**
 - 14 Short term bike parking spaces with racks
- 13 LANDSCAPE BUFFER**
 - Trees and slope stabilization planting to frame and screen views
- 14 PARKING LOT LANDSCAPE**
 - 85 Total Parking Spaces including 6 accessible spaces
 - 1 Tree per 6 Parking Spaces
- 15 UTILITY AREA**

1) Connect to Diamond & Prospect & Flagler
2) Need Bike Access to "3 Central Lawn"

Trail-Access - Bike-Pedestrian

LANDSCAPE PLAN

SCALE: 1" = 50'-0"



PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 358-0993

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NO.	DATE	REVISION
BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS		
514 NORTH PROSPECT AVE. REDONDO BEACH, CA 90277		
PMA PROJECT NO. 19010		
DRAWING TITLE LANDSCAPE PLAN		
SCALE 1" = 50'-0"		
DATE 01/26/2022		
DRAWN DC/CM	CHECKED SP/DC	
SHEET NO. L101		

514 PROSPECT AVE. CIVIL PLANS

GENERAL

- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AND CITY OF REDONDO BEACH LOCAL ORDINANCES AS APPLICABLE.
- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL ENGINEERING INVESTIGATION, "GEOTECHNICAL STUDY REPORT PROPOSED SENIOR LIVING PROJECT 514 NORTH PROSPECT AVENUE, REDONDO BEACH, CALIFORNIA", BY CONVERSE CONSULTANTS DATED JUNE 24, 2016.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLINE PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADI ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF REDONDO BEACH FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

CITY OF REDONDO BEACH GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE EXCAVATION AND GRADING REQUIREMENTS OF THE CITY OF REDONDO BEACH AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. ANY VIOLATION WILL RESULT IN THE STOPPING OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE GRADING INSPECTOR OR SOIL ENGINEER.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL AND 1 VERTICAL.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION AT THE FINISHED SURFACE, UNLESS SUPPORTED BY A SOIL STUDY PERFORMED BY A SOILS ENGINEER.
- FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY THE ASTM: D-1557-78, AND CERTIFIED BY THE SOIL ENGINEER.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH AN APPROVED GROUND COVER FOR EROSION CONTROL.
- PLANTED SLOPES SHALL BE WATERED AND MAINTAINED.
- FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND INSPECTED BY GRADING INSPECTOR OR SOIL ENGINEER AND APPROVED SOIL-TESTING AGENCY PRIOR TO PLACING OF FILL.
- PRIOR TO PLACING FILLS, THE BASINS LEFT BY PULLING TREES SHALL BE INSPECTED AND APPROVED BY THE GRADING INSPECTOR OR SOIL ENGINEER.
- AS FILLS ARE PLACED, SLOPE BENCHING SHALL BE PROVIDED IF NATURAL GRADE IS OVER 5 HORIZONTAL TO 1 VERTICAL. BENCHING SHALL BE A MINIMUM OF 5' WIDTH, 15' IN WIDTH AT THE TOE WITH 5' EXPOSED.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE GRADING INSPECTOR OR SOIL ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- THE EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED, OR CRUSHED IN PLACE AND BACKFILLED, AND APPROVED BY THE GRADING INSPECTOR OR SOIL ENGINEER.
- APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON AND SHALL BE IN THE PLACE AT THE END OF EACH DAY'S WORK.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATIONS PER CITY OF REDONDO REGULATIONS ON CONSTRUCTION SANITATION FACILITY.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- THE PERMITTEE SHALL NOTIFY THE ENGINEERING AND BUILDING SERVICES WHEN THE GRADING OPERATION IS READY FOR ROUGH GRADING INSPECTION. WHEN ALL WORK INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND PROTECTIVE DEVICES HAS BEEN COMPLETED AND REQUIRED REPORTS HAVE BEEN SUBMITTED.
- GRADING INSPECTION DURING INSTALLATION IS REQUIRED FOR ALL DRAIN DEVICES. FILL TERRACE BENCHES AND FILL SLOPES MUST BE APPROVED BY THE SOIL ENGINEER AND DESIGN ENGINEER PRIOR TO TERRACE PAVING.
- DRAINAGE PIPE THAT WILL UNDERLAY STRUCTURES MUST BE REINFORCED CONCRETE OR CAST IRON AND THE STRUCTURE FOUNDATIONS MUST BE ENGINEERED BY A FOUNDATION ENGINEER. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR DESIGN INSPECTION DURING CONSTRUCTION OF THE PIPE AND WILL CERTIFY TO THE STABILITY AND THAT THE WORK WAS DONE TO HIS SATISFACTION.
- SUBMISSION OF PROFESSIONAL OPINION THAT THE SUBSOILS HAVE SUFFICIENT STABILITY TO HOLD THE ADDITIONAL WEIGHT OF THE PROPOSED FILLS WITHOUT SETTLEMENT THAT WILL CAUSE DAMAGE TO PROPOSED IMPROVEMENTS MUST BE SUBMITTED MUST BE SUBMITTED TO THE BUILDING OFFICIALS PRIOR TO PLACEMENT OF FILL.
- APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED FOR CONSTRUCTION DURING THE RAINY SEASON BETWEEN NOVEMBER 1ST AND APRIL 15TH AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- ALL TRENCH BACKFILLS IN SLOPES OR LEVEL AREAS OF PRIVATE PROPERTY SHALL BE TESTED AND CERTIFIED BY THE SITE SOIL-TESTING FIRM. THE SOIL CERTIFICATION SHALL INCLUDE THE STABILITY OF THE BACKFILL AND THAT THE COMPACTION IN 90% OF THE MAXIMUM DRY DENSITY USING THE ASTM: D-1557-78.
- ALL TRENCH BACKFILLS IN PUBLIC PROPERTY WHERE PRIVATE PROPERTY STRUCTURES OR SLOPES BEAR ON THEM FOR SUPPORT SHALL BE CERTIFIED BY THE SITE SOIL-TESTING FIRM.
- THE ENGINEERING GEOLOGIST SHALL MAINTAIN PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPE IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIALS PRIOR TO CONSTRUCTIONS. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- THE DESIGN ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE APPROVED PLANS.
- A GRADING PERMIT IS REQUIRED WHEN GRADING/EXCAVATION INVOLVES A CUT OR FILL DEPTH OF 3'-0" OR MORE AND/OR 200 CUBIC YARDS. SUBMIT GRADING PLANS AND SOILS REPORT TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED CONTINUOUSLY BY WATERING OR BY OTHER APPROVED MEANS IF EXCAVATION. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (USA-1-800-422-4133) PRIOR TO ANY EXCAVATION.
- A SHORING PERMIT IS REQUIRED FOR ANY VERTICAL CUT OR FILL THAT IS 5'-0" IN HEIGHT OR OVER. ENGINEERED SHORING PLANS AND CALCULATION MUST BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. PER SECTION 3301.2 OF THE CBC, THE HOLDER OF A SHORING PERMIT SHALL NOTIFY IN WRITING ALL THE OWNERS OF ADJOINING PROPERTIES NOT LESS THAN 10 DAYS BEFORE SUCH EXCAVATION IS TO COMMENCE. AN OSHA PERMIT IS ALSO REQUIRED, A COPY OF WHICH SHALL BE SUBMITTED TO THE BUILDING DIVISION. SHORING CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

- ALL PERSONS WORKING AT THE SITE SHOULD OBTAIN, READ AND UNDERSTAND THE BEST MANAGEMENT PRACTICES PAMPHLET FOR THE TYPE(S) OF CONSTRUCTION BEING DONE.
- STOCKPILE OF SOIL, DEMOLITION DEBRIS, CEMENT, SAND, TOP SOIL, ETC. MUST BE COVERED WITH A WATERPROOF MATERIAL OR BERMED TO PREVENT BEING WASHED OFF SITE.
- FUELS, OILS, PAINTS, SOLVENTS, AND OTHER LIQUID MATERIALS MUST BE KEPT INSIDE BERMED AREAS. SPILLS MUST NOT BE WASHED TO THE STREET.
- WASTE CONCRETE MUST NOT BE WASHED INTO STREET, STORM DRAIN CATCH BASINS, OR PUBLIC RIGHT-OF-WAY. ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST BE REMOVED USING A WET-DRY VACUUM OR EQUIVALENT.
- TRASH AND OTHER CONSTRUCTION SOLID WASTES MUST BE PLACED IN A COVERED TRASH RECEPTACLE.
- ERODED SOIL FROM DISTURBED SLOPES MUST BE CONTAINED USING BERMS, SILT FENCES, SETTING BASINS, OR GOOD EROSION MANAGEMENT PRACTICES SUCH AS RESEEDING.
- WASH WATER FROM CLEANING CONSTRUCTION VEHICLES AND EQUIPMENT MUST BE KEPT ON-SITE WITHING A CONTAINMENT AREA.



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

PARCEL 1

P.M. NO. 13030
P.M.B. 144-3

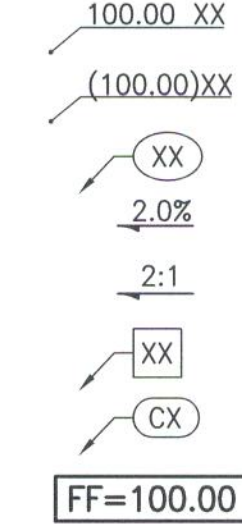
APN: 7502-017-901

ABBREVIATIONS

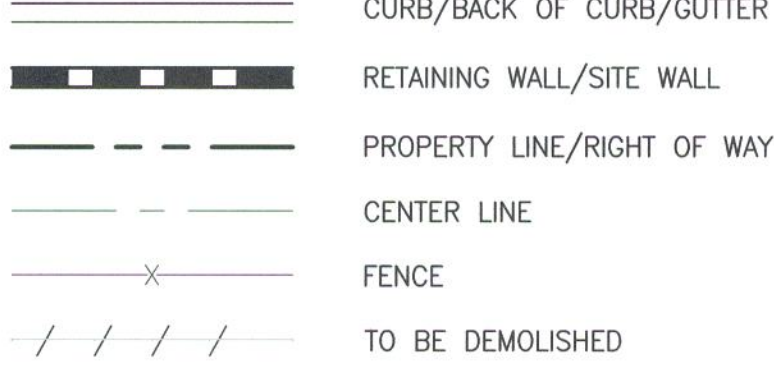
AC	ASPHALTIC CONCRETE	MIN	MINIMUM
BCR	BEGIN CURVE RETURN	MH	MANHOLE
BW	BACK OF WALK	(N)	NORTH
BLDG	BUILDING	NTS	NOT TO SCALE
BM	BENCH MARK	PA	PLANTER AREA
BS	BOTTOM OF STAIRS	POC	POINT OF CONNECTION
BMP	BEST MANAGEMENT PRACTICES	PV	POST INDICATOR VALVE
CB	CATCH BASIN	PCC	POINT OF COMPOUND CURVE
CI	CAST IRON	PRC	POINT OF REVERSE CURVE
CL	CENTER LINE	PRV	PRESSURE REDUCING VALVE
CMU	CONCRETE MASONRY UNIT	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	R	RADIUS
CONC	PORTLAND CEMENT CONCRETE	RCIP	RECTANGULAR CAST IRON PIPE
CF	CURB FACE	RD	ROOF DRAIN
DW	DOMESTIC WATER	RW	RIGHT-OF-WAY
(E)	EAST	(N)	SOUTH
ECR	END CURVE RETURN	S=	SLOPE EQUALS
EG	EDGE OF GUTTER	SD	STORM DRAIN
EL. OR ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRIC, ELECTRICAL	SS	SANITARY SEWER
EX. OR EXIST.	EXISTING	STD	STANDARD
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE (LANDSCAPE)	TEL	TELEPHONE
FS	FINISHED SURFACE (HARDSCAPE)	TG	TOP OF GRATE
FH	FIRE HYDRANT	TOS	TOP OF STAIRS
FL	FLOW LINE	TW	TOP OF WALL
FT	FOOT OR FEET	TS	TOP OF STAIRS
FU	FIXTURE UNITS	TYP	TYPICAL
FW	FIRE WATER	TV	TELEVISION
GPM	GALLONS PER MINUTE	VIF	VERIFY IN FIELD
GV	GATE VALVE	VLT	VAULT
HDPE	HIGH DENSITY POLYETHYLENE	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT	(W)	WEST
INV.	INVERT	W	WATER
LP	LOW POINT	WM	WATER METER
MAX	MAXIMUM	WV	WATER VALVE

LEGEND

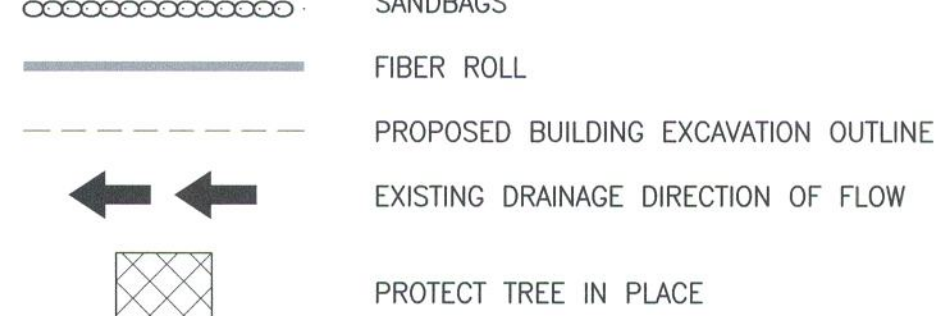
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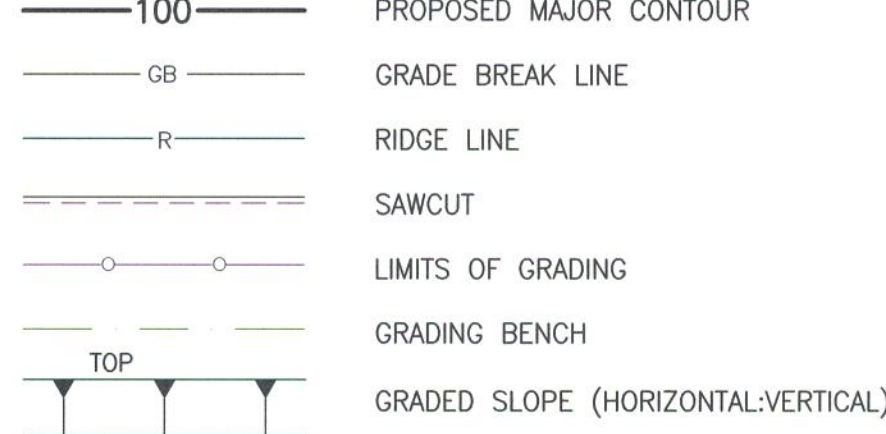
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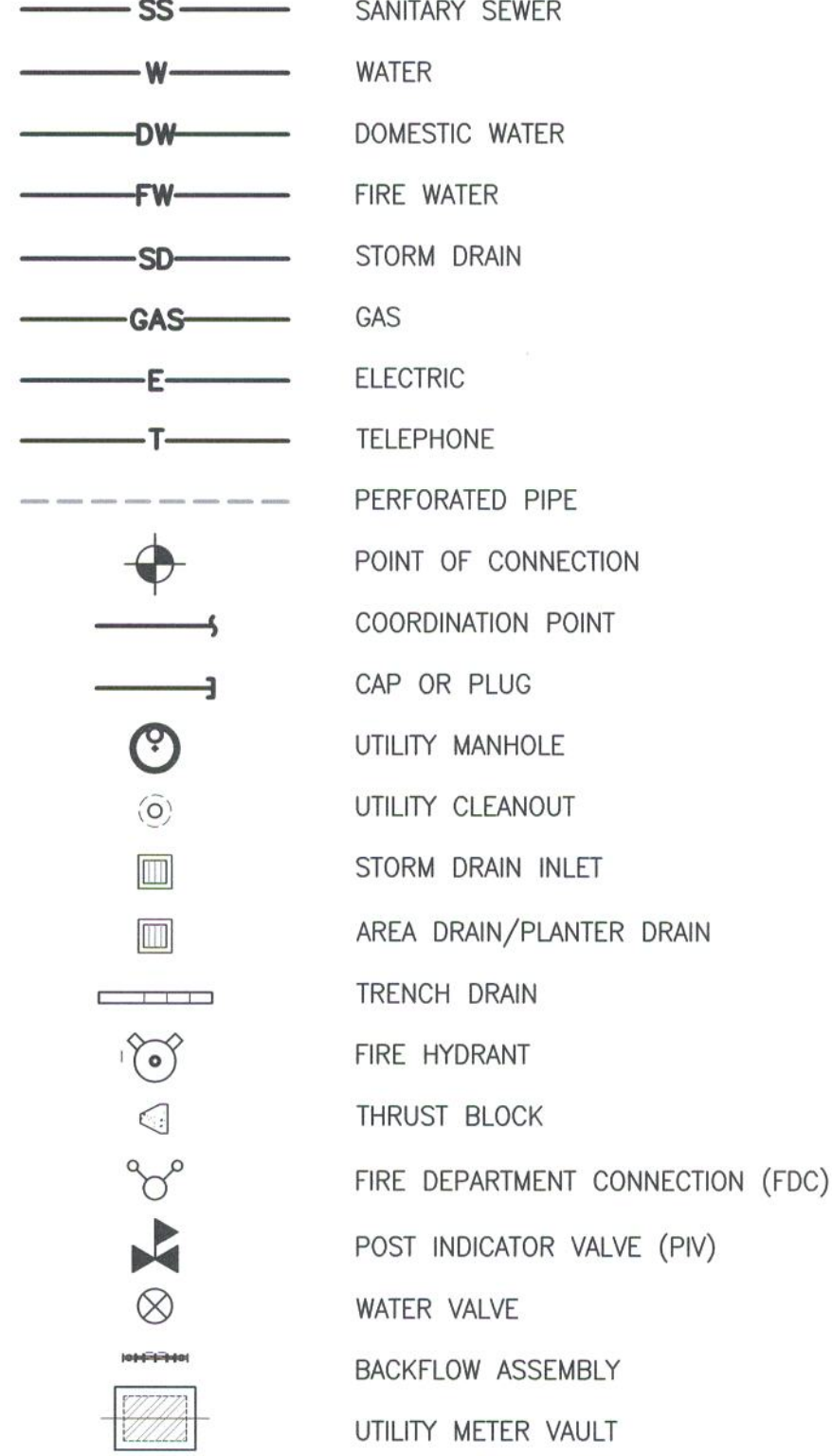
EROSION CONTROL



GRADING



UTILITY



SHEET INDEX

C000	TITLE SHEET
C100	EROSION CONTROL PLAN
C210	GRADING PLAN
C300	LOW IMPACT DEVELOPMENT/DRAINAGE PLAN
C400	UTILITY PLAN
C500	FIRE ACCESS PLAN

PROJECT DIRECTORY

CIVIL ENGINEER:
JOHN LABIB + ASSOCIATES
FRANK LAROCCA
319 MAIN STREET
EL SEGUNDO, CA 90045
TEL: 213.239.9700

ARCHITECT:
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PAUL MURDOCH
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LOS ANGELES, CA 90048
TEL: 310.358.0993

GEOTECHNICAL ENGINEER:
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717 SOUTH MYRTLE AVE
MONROVIA, CA 91016
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PAUL MURDOCH
ARCHITECTS

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Beverly Hills, California 90211
310 358-0993 F.310 358-9196

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319 Main Street
El Segundo, CA 90245
Tel: 213.239.9700

JLA Job No. 19725



NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.

19010

DRAWING TITLE

TITLE SHEET

SCALE

AS NOTED

DATE

01/06/20

DRAWN

Author

CHECKED

Author

Check

SHEET NO.

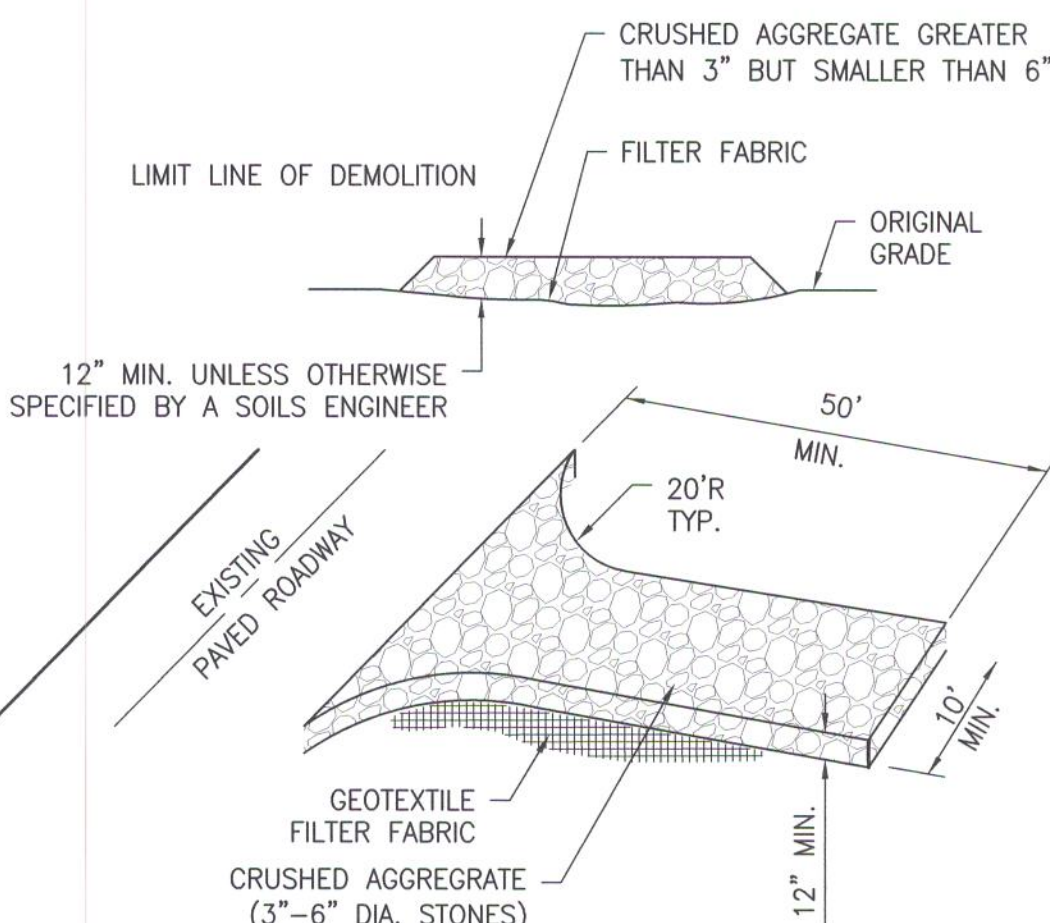
C000



1-800-227-2600
CALL USA/SC FOR
UNDERGROUND LOCATING
48 HOURS BEFORE YOU
DIG!

IMPORTANT NOTICE

SECTION 4216/4217 OF THE GOVERNMENT CODE
REQUIRES A DIGALERT IDENTIFICATION NUMBER
BE ISSUED BEFORE A "PERMIT TO EXCAVATE"
WILL BE VALID. FOR YOUR DIGALERT I.D.
NUMBER CALL UNDERGROUND SERVICE ALERT
TOLL FREE 1-800-227-2600 TWO WORKING
DAYS BEFORE YOU DIG



1. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE PICKED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
3. IF A WASH RACK IS INCLUDED, A SEDIMENT TRAP OF SOME KIND MUST ALSO BE PROVIDED TO COLLECT WASH WATER RUNOFF.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE.

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

1. BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD², MULLEN BURST STRENGTH EXCEEDING 300 LB/IN² IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D5786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.
2. BAG SIZE: EACH GRAVEL-FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
3. FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, LOESS, OR OTHER MATERIAL, AND OTHER DELTERIOUS MATERIAL, OR OTHER SUITABLE OPEN-GRADED, NON-COHESIVE, POROUS GRAVEL.
4. TURN THE ENDS OF EACH BAG BARRIER UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND BARRIER.
5. USE PYRAMID APPOINTMENT WHEN STACKING BAGS.

VERTICAL SPACING MEASURED ALONG FACE OF SLOPE, VARIES BETWEEN 10'-20'.

4 MAX.

4 MAX.

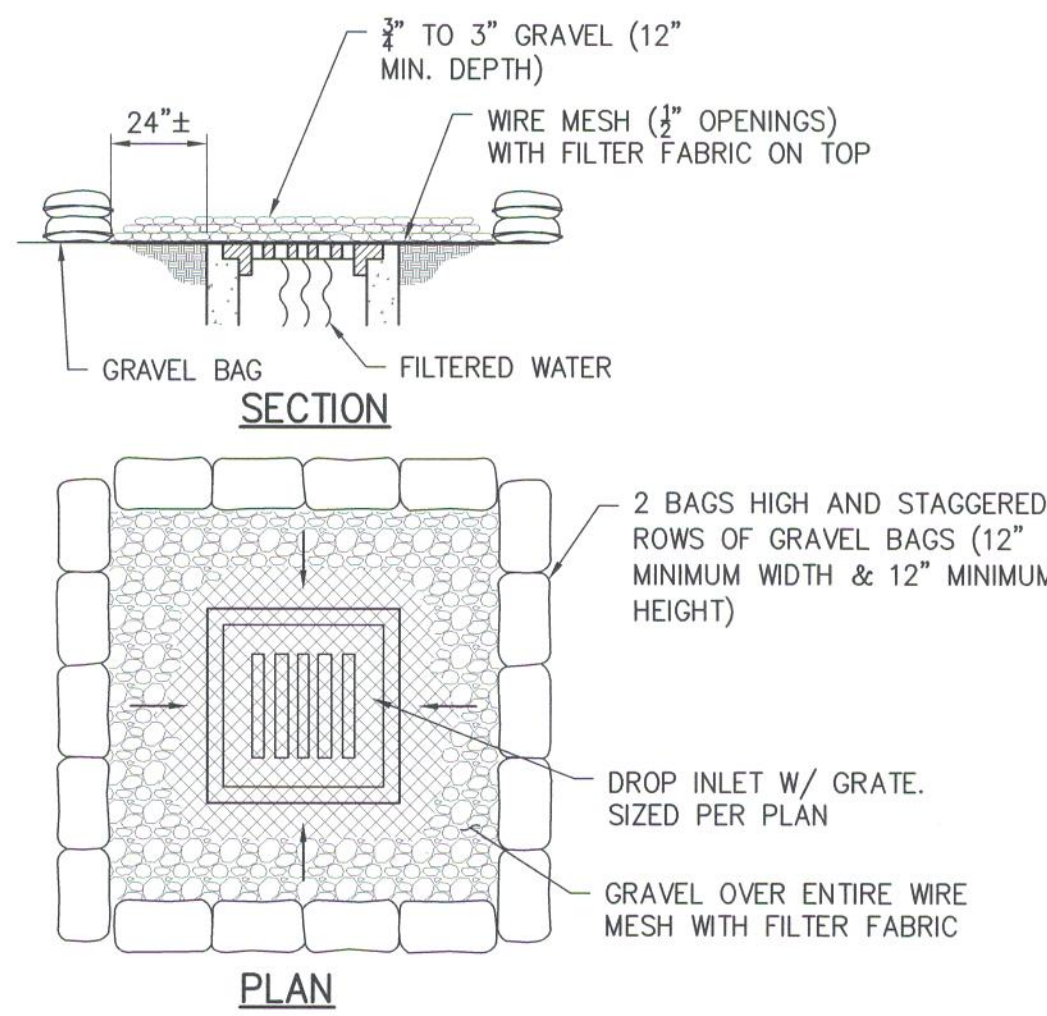
FIBER ROLL

INSTALL FIBER ROLL NEAR SLOPE WHERE IT TRANSITIONS INTO A STEEPER SLOPE.

NOTE: INSTALL FIBER ROLL ALONG A STEEPER SLOPE.

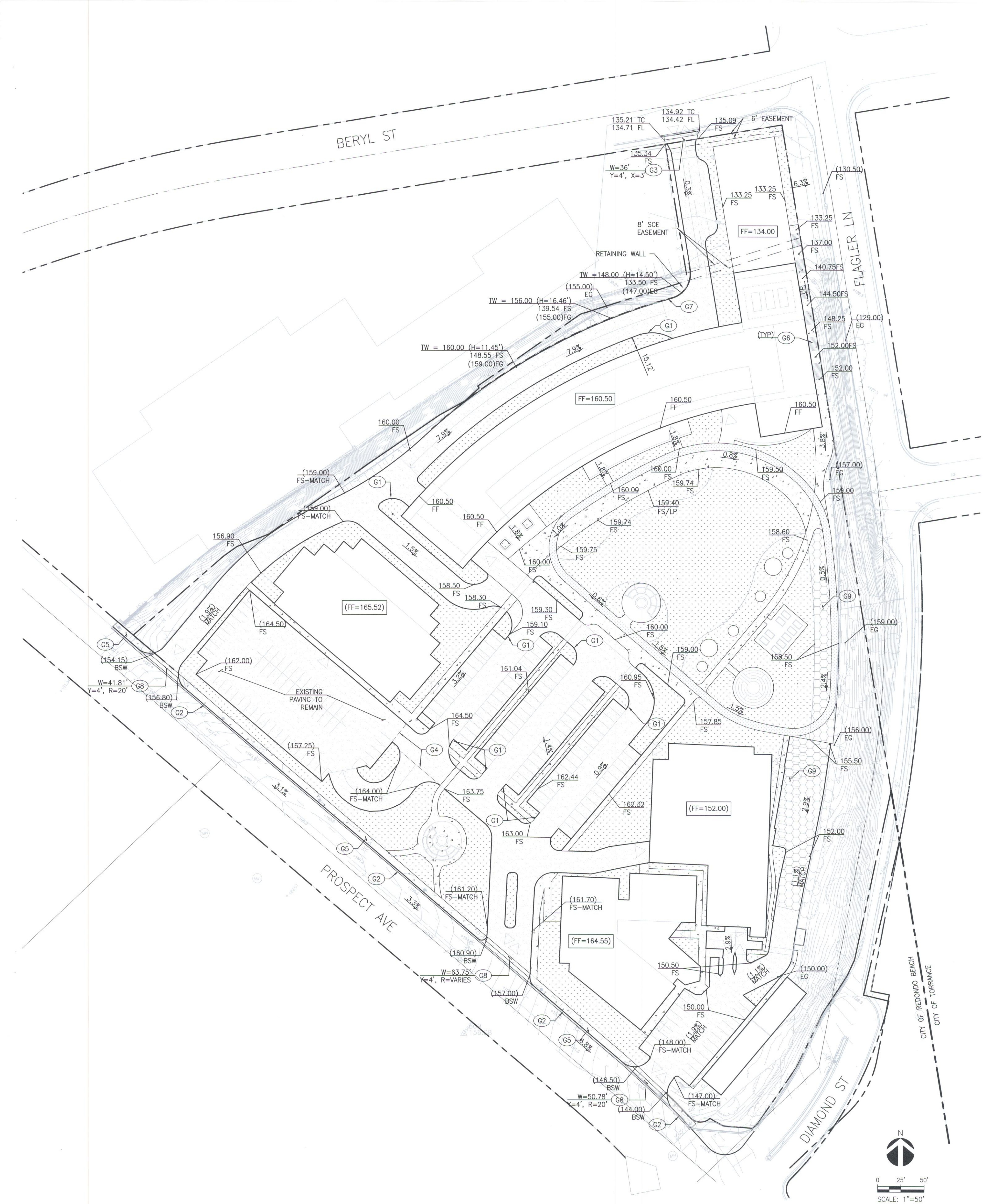
1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS. THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
2. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
3. WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
4. STORM AND SEWER DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS.
5. EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15).
6. SANDBAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.
7. A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS:
NAME: _____ (TO BE FILLED IN BY CONTRACTOR)
PHONE NUMBER: _____

1. DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALIATIVE. THE DUST PALIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
2. WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPRAY SYSTEM OR HOSES WITH NOZZLES THAT WILL INSURE A UNIFORM APPLICATION OF WATER.
3. UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
4. ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
5. PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF EXPOSED SOILS.
6. PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
7. LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.



1. PLACE WIRE MESH OVER AND 1' (MINIMUM) BEYOND THE INLET STRUCTURE. (MESH OPENINGS NOT TO EXCEED $\frac{1}{2}$ " x $\frac{1}{2}$ " WIRE)
2. PLACE FILTER FABRIC OVER WIRE MESH.
3. PLACE $\frac{3}{4}$ " TO 3" GRAVEL OVER THE WIRE MESH WITH FILTER FABRIC (12" MINIMUM DEPTH OVER THE ENTIRE INLET OPENING).
4. BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD², MULLEN BURST STRENGTH EXCEEDING 300 LB/IN² IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTIMATE STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.
5. BAG SIZE: EACH GRAVEL-FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
6. FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN-GRADED, NON-COHESIVE, POROUS GRAVEL.
7. USE PYRAMID APPROACH WHEN STACKING BAGS.
8. LEAVE GAP OF ONE BAG ON TOP ROW TO SERVE AS SPILLWAY.

C100



LEGEND

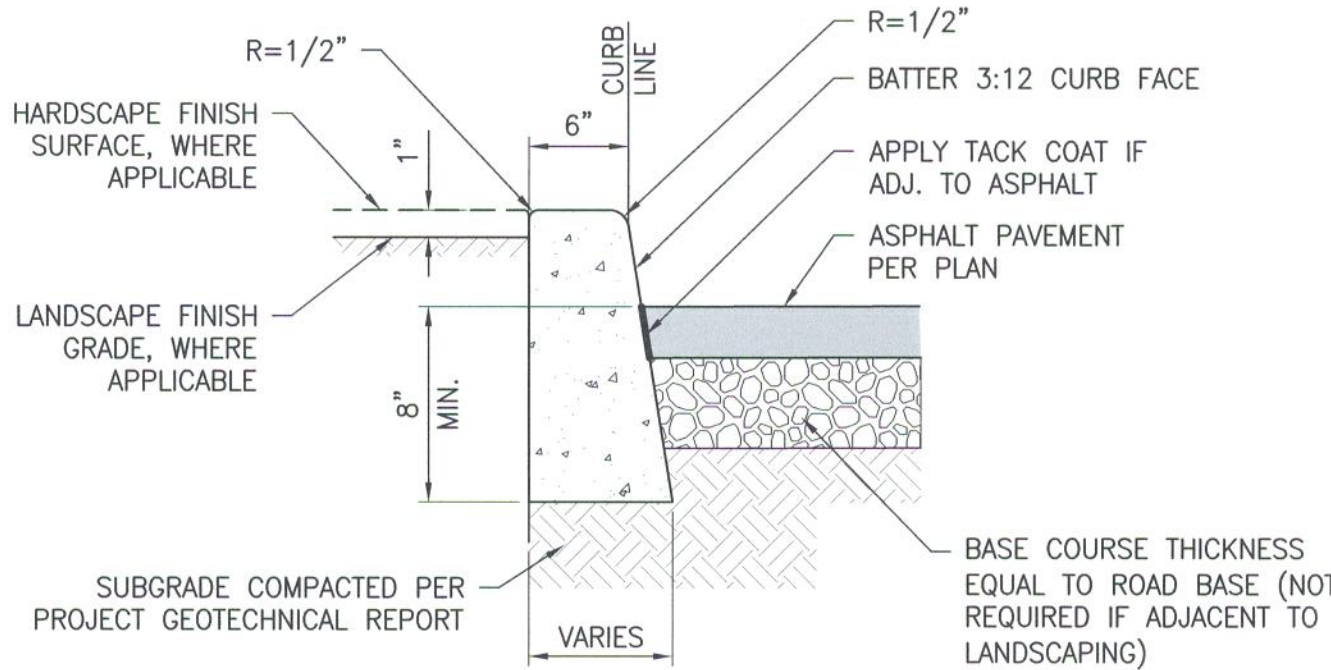
- LANDSCAPE BY OTHERS.
- CONCRETE PAVING.
- ASPHALT PAVING, DEPTH OF ASPHALT AND BASE TO MATCH EXISTING.
- COMPACTED DG PER LANDSCAPE PLANS.
- GRASSCRETE.

CONSTRUCTION NOTES

- G1 INSTALL 6" CONCRETE CURB PER DETAIL 1, HEREON.
- G2 INSTALL CURB AND GUTTER PER APWA STD PLAN 120-1.
- G3 INSTALL DRIVEWAY APRON PER APWA STD PLAN 110-2, TYPE B.
- G4 SAWCUT TO LIMIT AS SHOWN.
- G5 INSTALL SIDEWALK PAVING PER DETAIL 3, HEREON.
- G6 STAIRS ON GRADE PER DETAIL 5, HEREON.
- G7 INSTALL RETAINING WALL BY OTHERS.
- G8 INSTALL DRIVEWAY APRON PER APWA STD PLAN 110-2, TYPE C.

NOTES:

- 1. ALL PAVING AND PAVERS SHALL BE INSTALLED PER RECOMMENDATIONS STATED IN THE PROJECT GEOTECHNICAL REPORT.

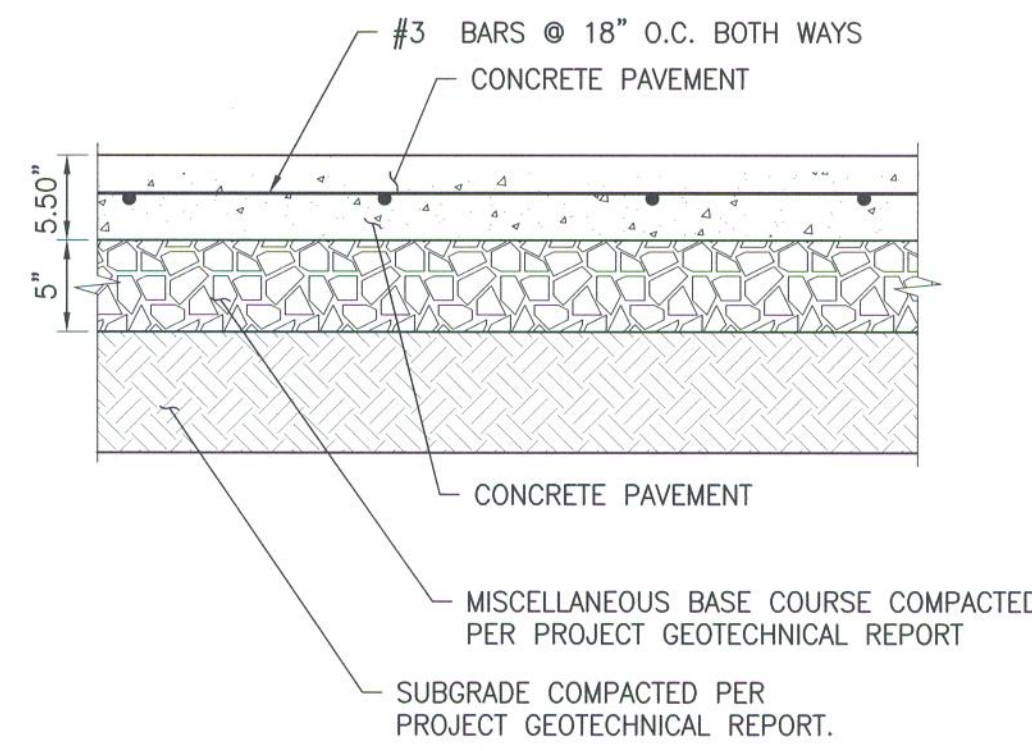


NOTES:

- 1. ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
- 2. CONTROL JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 10' INTERVALS O.C.
- 3. WHERE A WALK IS ADJACENT TO THE CURB, THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.

1 CONCRETE CURB DETAIL

C210 N.T.S.

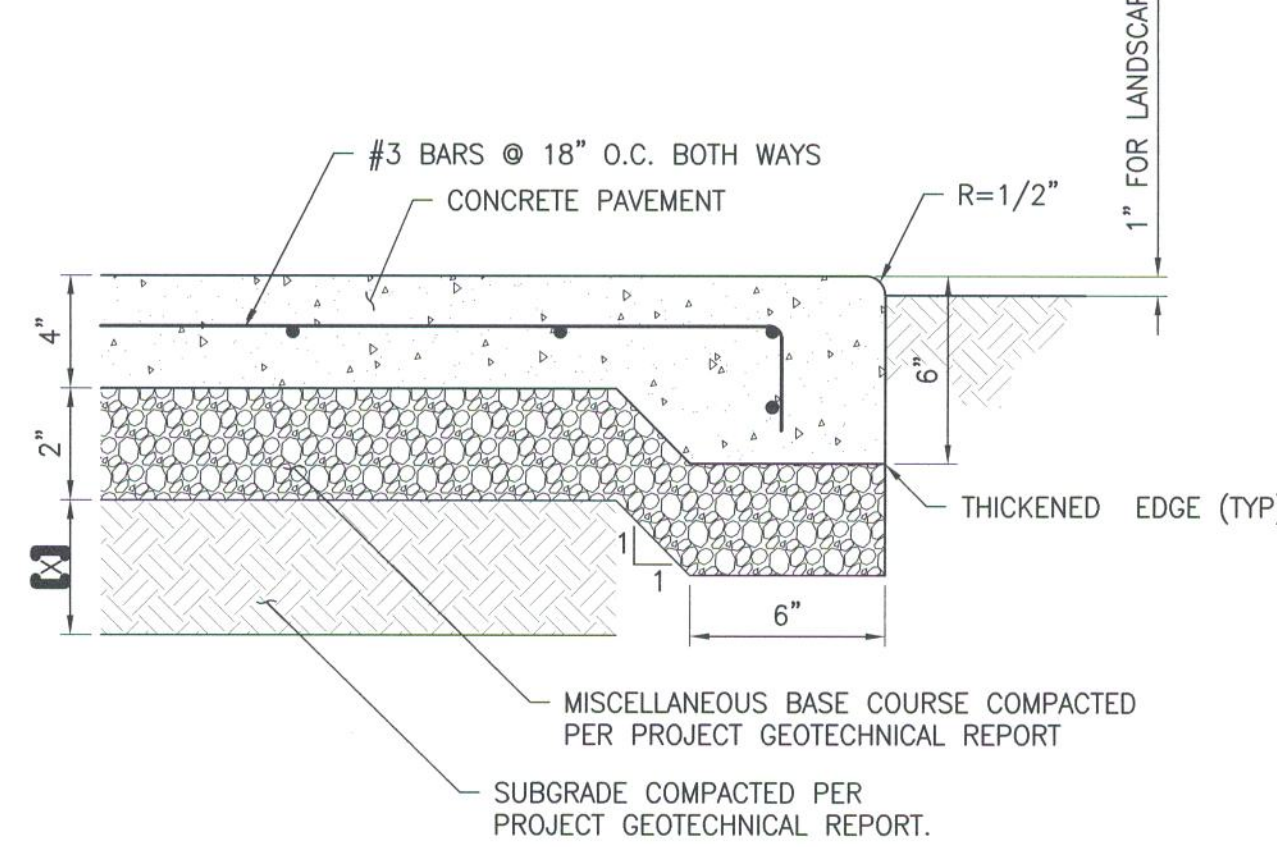


NOTES:

- 1. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
- 3. SEE PLAN FOR LOCATION OF CONTROL JOINTS.
- 4. CONCRETE STRENGTH f'c = 3500 PSI MIN.

2 VEHICULAR CONCRETE DETAIL

C210 N.T.S.



NOTES:

- 1. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
- 3. SEE PLAN FOR LOCATION OF CONTROL JOINTS.

3 CONCRETE WALK SECTION

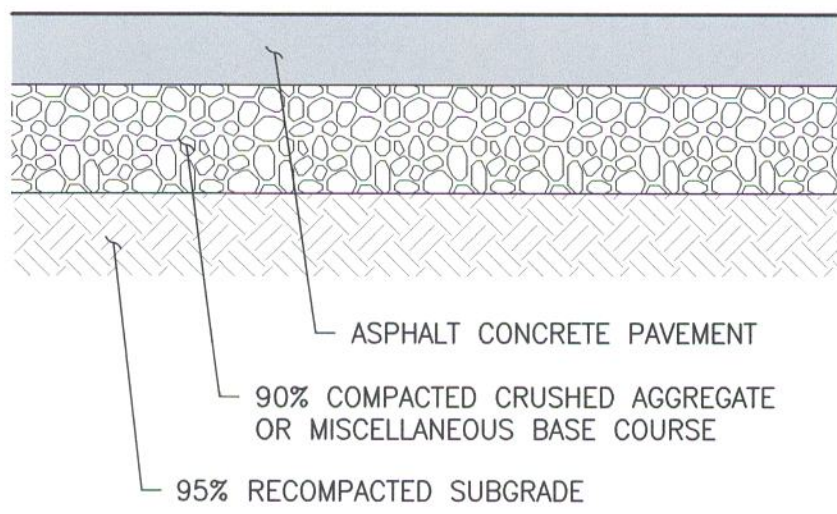
C210 N.T.S.

ESTIMATED EARTHWORK QUANTITIES

REMOVAL AND RECOMPACTION:	0 CUBIC YARDS
CUT:	7,810 CUBIC YARDS
FILL:	16,760 CUBIC YARDS
(FROM EXISTING HOSPITAL BASEMENT)	
NET (FILL/IMPORT):	8,950 CUBIC YARDS

EARTHWORK CALCULATION NOTES:

- 1. ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, AND CONSTRUCTION MEANS AND METHODS.
- 2. THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- 3. ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, REPLACEMENT.
- 4. REMEDIAL GRADING INCLUDES OVEREXCAVATION OF 3' VERTICAL AND 5' HORIZONTAL EXCAVATIONS BELOW ANY PROPOSED FOUNDATION.



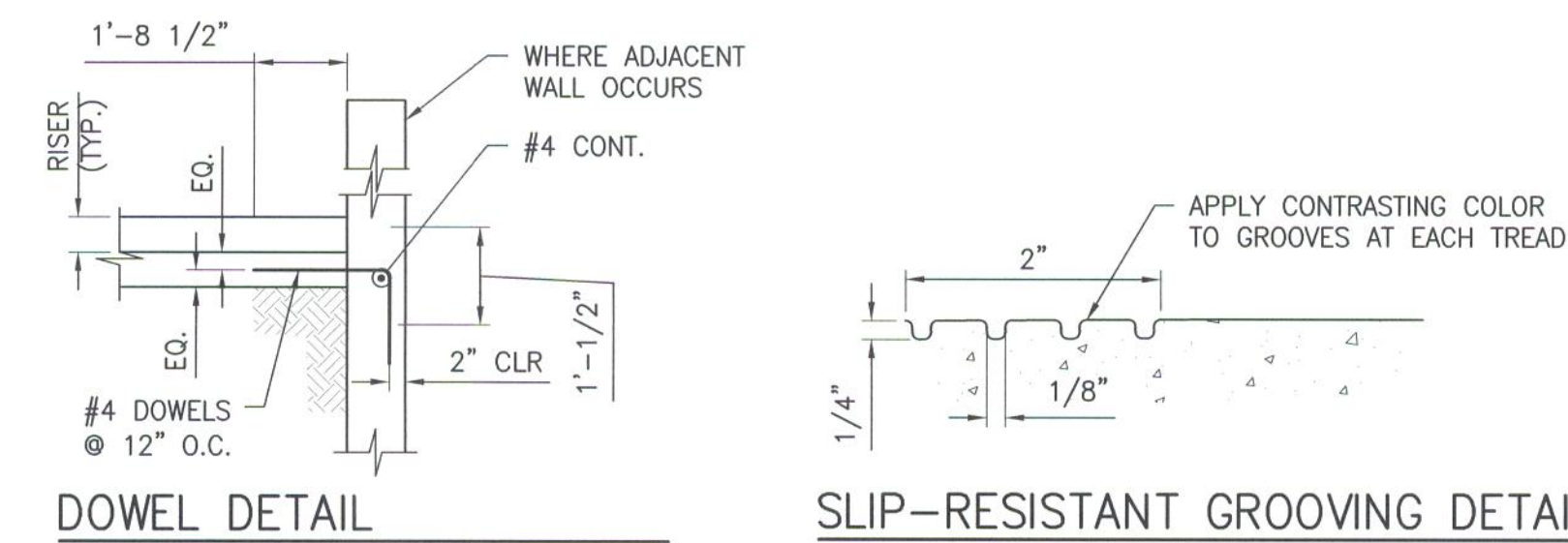
A.C. PAVEMENT TYPE	ASPHALT CONCRETE (INCHES)	BASE COURSE (INCHES)
VEHICULAR PARKING	2.5"	3.5"
HEAVY TRUCK TRAFFIC	6"	5.5"

NOTE:

- 1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT.
- 2. SUBGRADE PREPARATION SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT

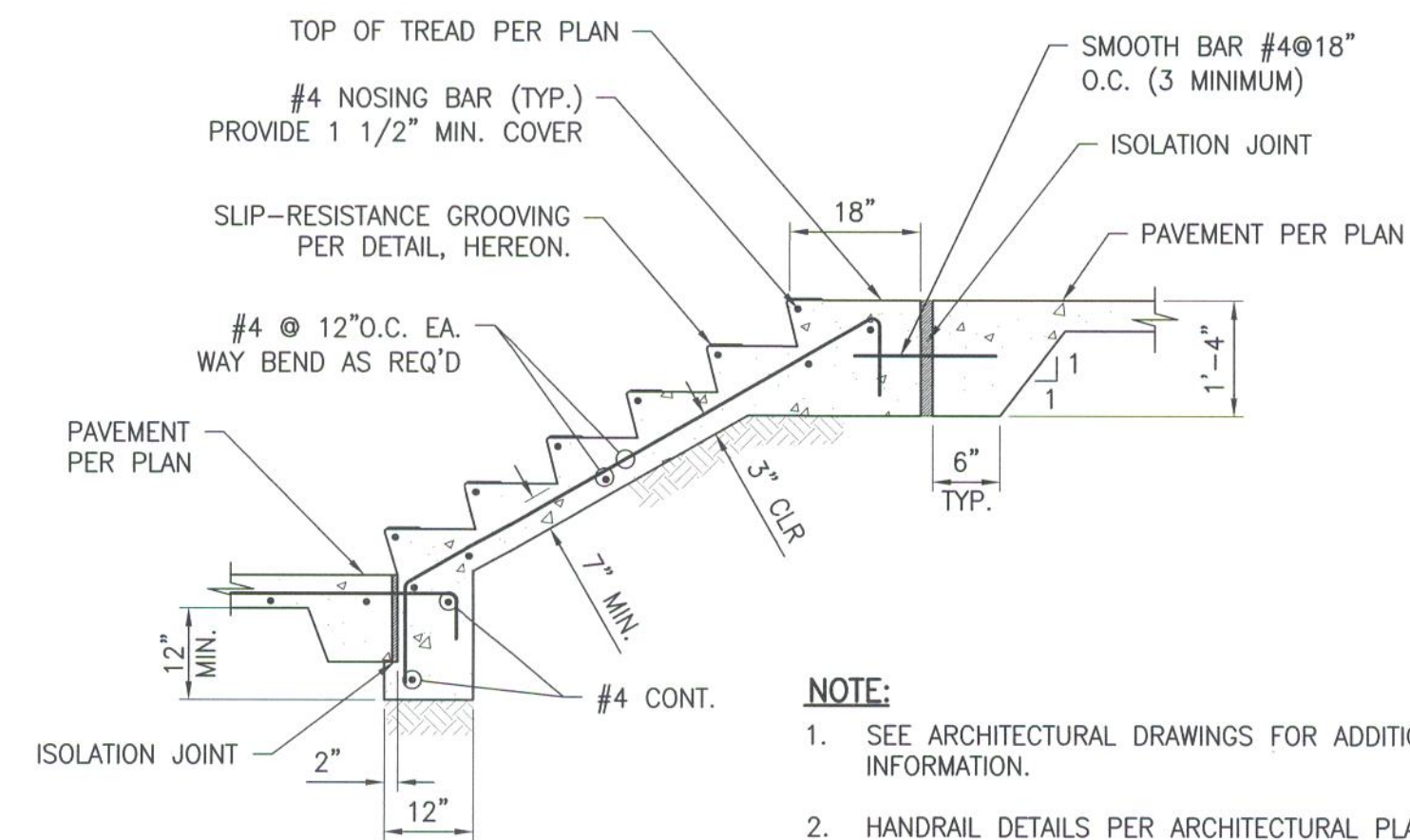
4 ASPHALT PAVING DETAIL

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DOWEL DETAIL

SLIP-RESISTANT GROOVING DETAIL



NOTE:

- 1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 2. HANDRAIL DETAILS PER ARCHITECTURAL PLANS.

5 CONCRETE STAIRS ON GRADE

C210 N.T.S.

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Labib Funk + Associates
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JLA Job No. 19725

PROFESSIONAL SEAL
PAUL MURDOCH
No. 075121
Exp. 12/31/2021
CIVIL
STATE OF CALIFORNIA
SIGN DATE: 01/28/2022

NO. DATE REVISION

**BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS**

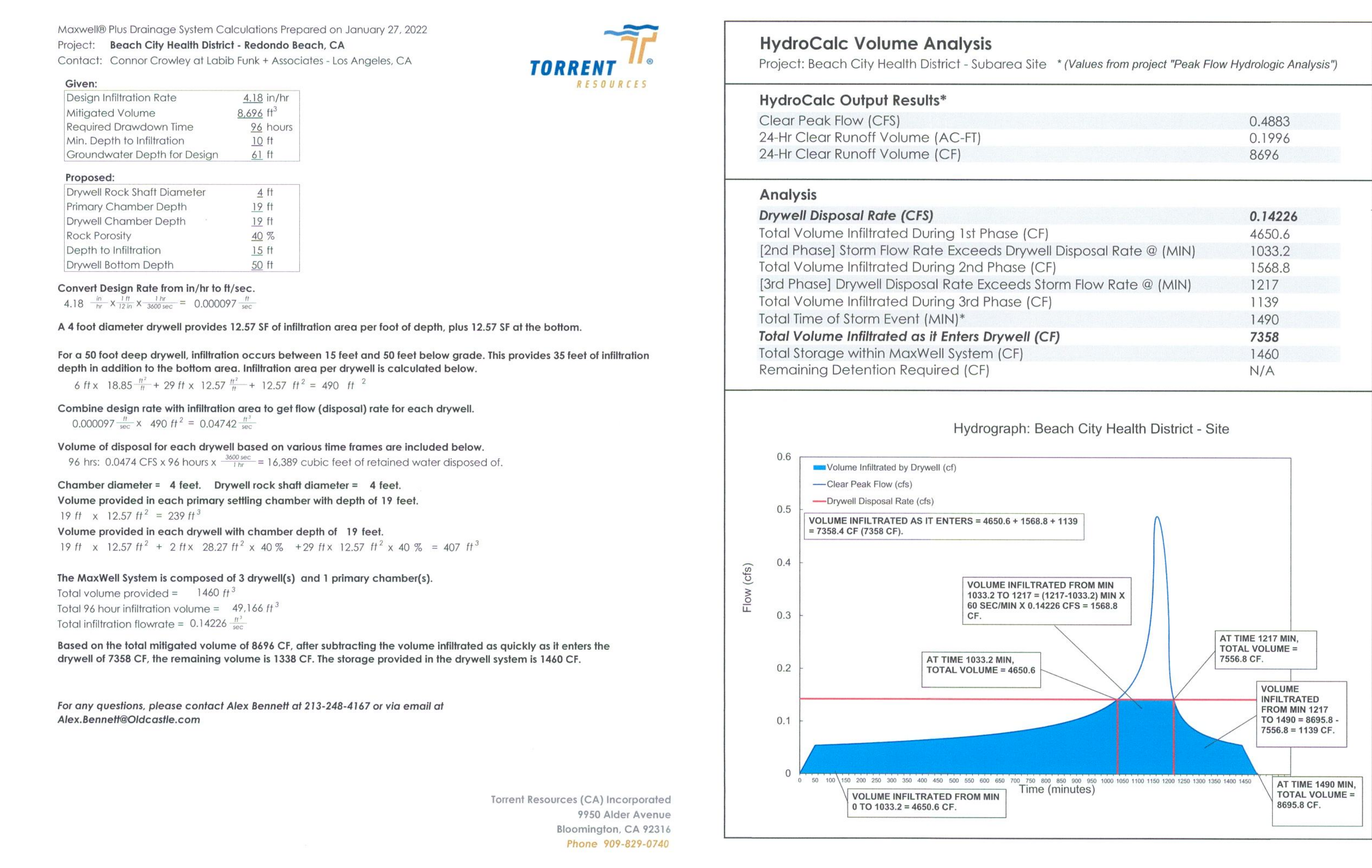
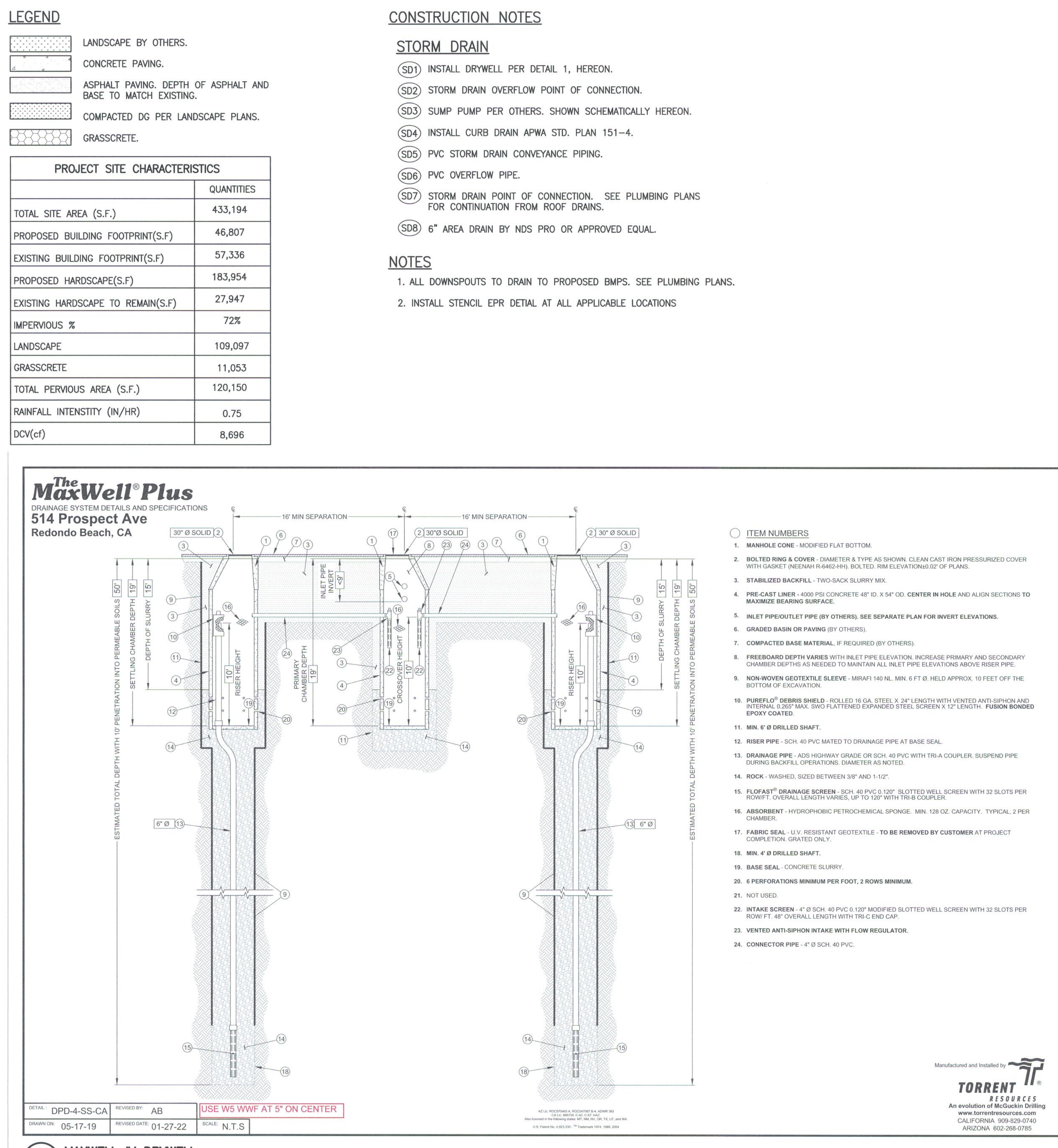
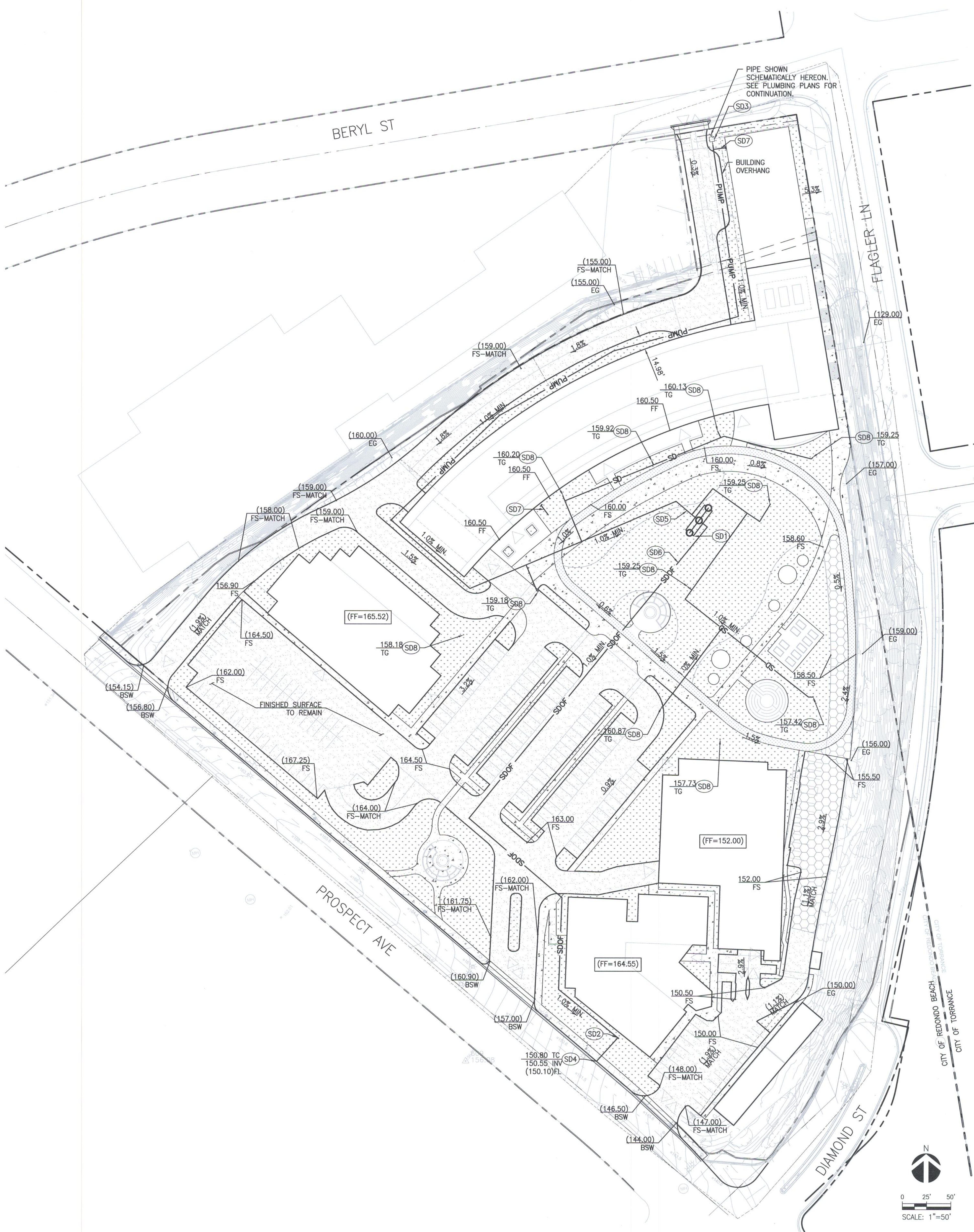
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PRMA PROJECT NO.:
19010

DRAWING TITLE
GRADING PLAN

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REGISTERED PROFESSIONAL ENGINEER
No. C75121
Exp. 12/31/2021
CIVIL
STATE OF CALIFORNIA
SIGN DATE: 01/28/2022

NO. DATE REVISION

BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PIMA PROJECT NO.
19010

DRAWING TITLE
LOW IMPACT DEVELOPMENT/ DRAINAGE PLAN

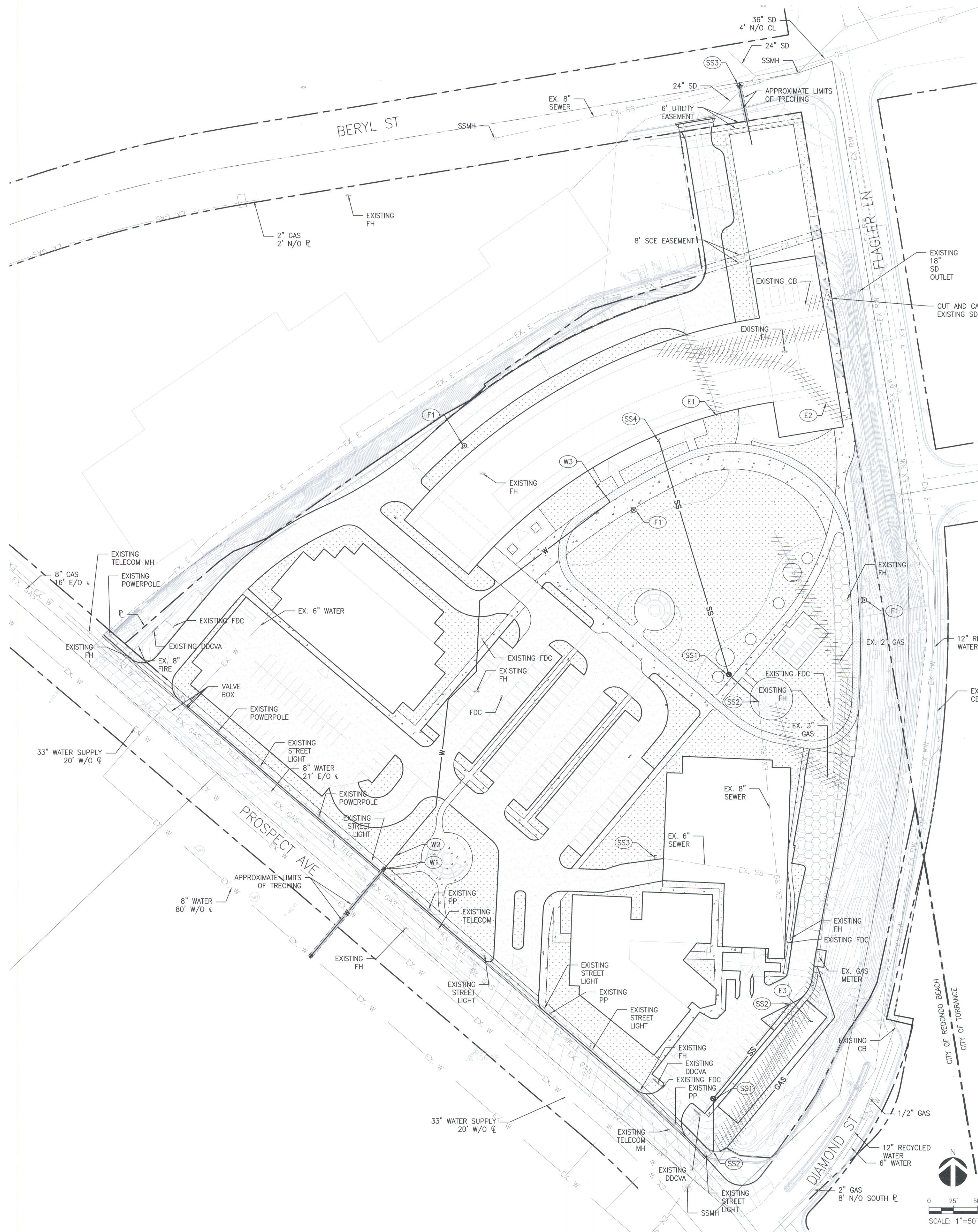
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AS NOTED

DATE
01/06/20

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Author Checker

SHEET NO.

C300



- LEGEND**
- POINT OF CONNECTION
 - UNKNOWN UTILITY CONTINUATION
 - BACKFLOW ASSEMBLY
 - WATER METER
 - FIRE DEPARTMENT CONNECTION (FDC)
 - DEMO UTILITY PIPE
 - EXISTING WATER PIPE
 - EXISTING STORM DRAIN PIPE
 - EXISTING GAS PIPE
 - EXISTING TELECOM CONDUIT
 - EXISTING ELECTRICAL SERVICE
 - EXISTING RECYCLED WATER
 - EXISTING UTILITY (UNKNOWN)
 - PROPOSED WATER SERVICE
 - PROPOSED SEWER
 - PROPOSED ELECTRICAL SERVICE
 - PROPOSED GAS SERVICE
 - EASEMENT
 - LANDSCAPE
 - CONCRETE PAVING
 - ASPHALT PAVING, DEPTH OF ASPHALT AND BASE TO MATCH EXISTING
 - COMPACTED DG PER LANDSCAPE PLANS
 - GRASSCRETE

CONSTRUCTION NOTES

- DOMESTIC WATER**
- (W1) PROPOSED WATER METER.
 - (W2) PROPOSED BACKFLOW PREVENTER.
 - (W3) POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- FIRE WATER**
- (F1) PROPOSED FIRE HYDRANT.
- SANITARY SEWER**
- (SS1) PROPOSED MANHOLE.
 - (SS2) CONNECT TO EXISTING SEWER LINE. CONTRACT TO VERIFY IN FIELD.
 - (SS3) CUT AND CAP EXISTING SEWER AT NOTED LOCATION.
 - (SS4) POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- ELECTRICAL**
- (E1) EXISTING TRANSFORMER
 - (E2) DEMO EXISTING ELECTRICAL LINE. CONTRACTOR TO COORDINATE SAFE-OFF PRIOR TO DEMOLITION.
 - (E3) PROPOSED ELECTRICAL YARD.

EXISTING UTILITY NOTES

1. THE PROPOSED UTILITY DESIGN IS BASED ON EXISTING UTILITIES AND PROVIDED HEREON FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE TO PERFORM POTHOLES AT UTILITY CROSSINGS MARKED ON THIS PLAN TO VERIFY DEPTHS OF EXISTING UTILITIES USING HYDRO-EXCAVATION METHOD. CONTRACTOR TO NOTIFY DISTRICT AND ENGINEER OF RECORD ON ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW UTILITIES.
2. EXISTING ACP PIPE LOCATIONS HAVE BEEN NOTED HEREON BASED ON EXISTING UTILITIES. ADDITIONAL ACP PIPE MAY BE LOCATED WITHIN THE PROJECT LIMITS. CONTRACTOR TO TAKE PROPER PRECAUTIONS WHEN EXCAVATING FOR CONSTRUCTION AND DEMOLITION. IF PIPE MATERIAL IS DETERMINED TO BE ACP, CONTRACTOR SHALL NOTIFY DISTRICT AND CAMPUS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL REFER TO PROJECT HAZ. MAT. REPORT FOR ALL DEMOLITION OF EXISTING ACP PIPE.

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CAMPUS

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PMA PROJECT NO.

19010

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UTILITY PLAN

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DATE

01/06/20

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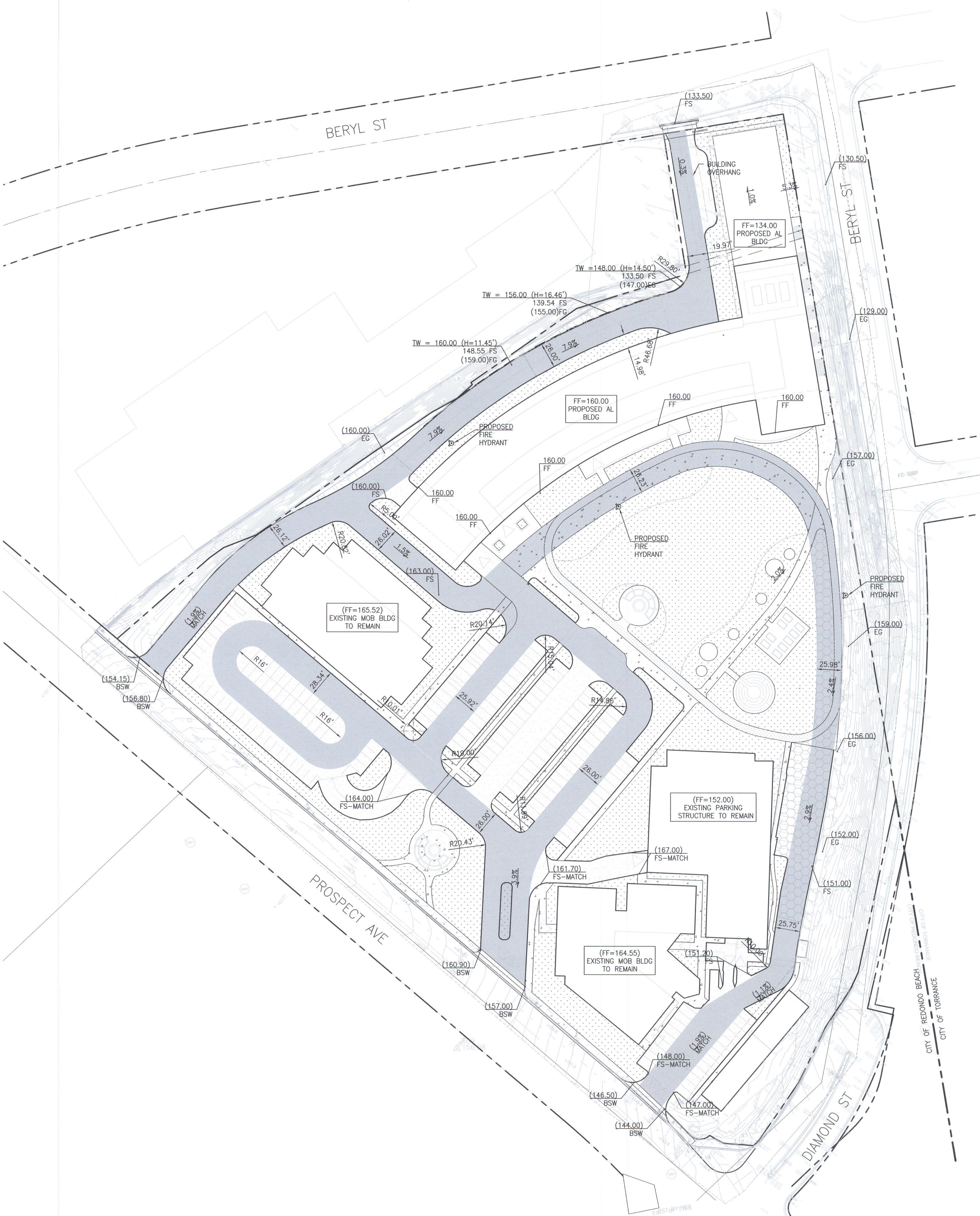
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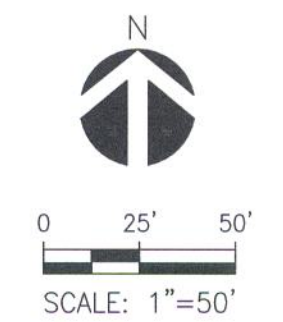
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C400



- LEGEND**
- FIRE DEPARTMENT CONNECTION (FDC)
 - FIRE HYDRANT
 - FIRE ACCESS ROAD
 - LANDSCAPE.
 - CONCRETE PAVING.
 - ASPHALT PAVING. DEPTH OF ASPHALT AND BASE TO MATCH EXISTING.
 - COMPACTED DG PER LANDSCAPE PLANS.
 - GRASSCORETE.



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FIRE ACCESS PLAN

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C500



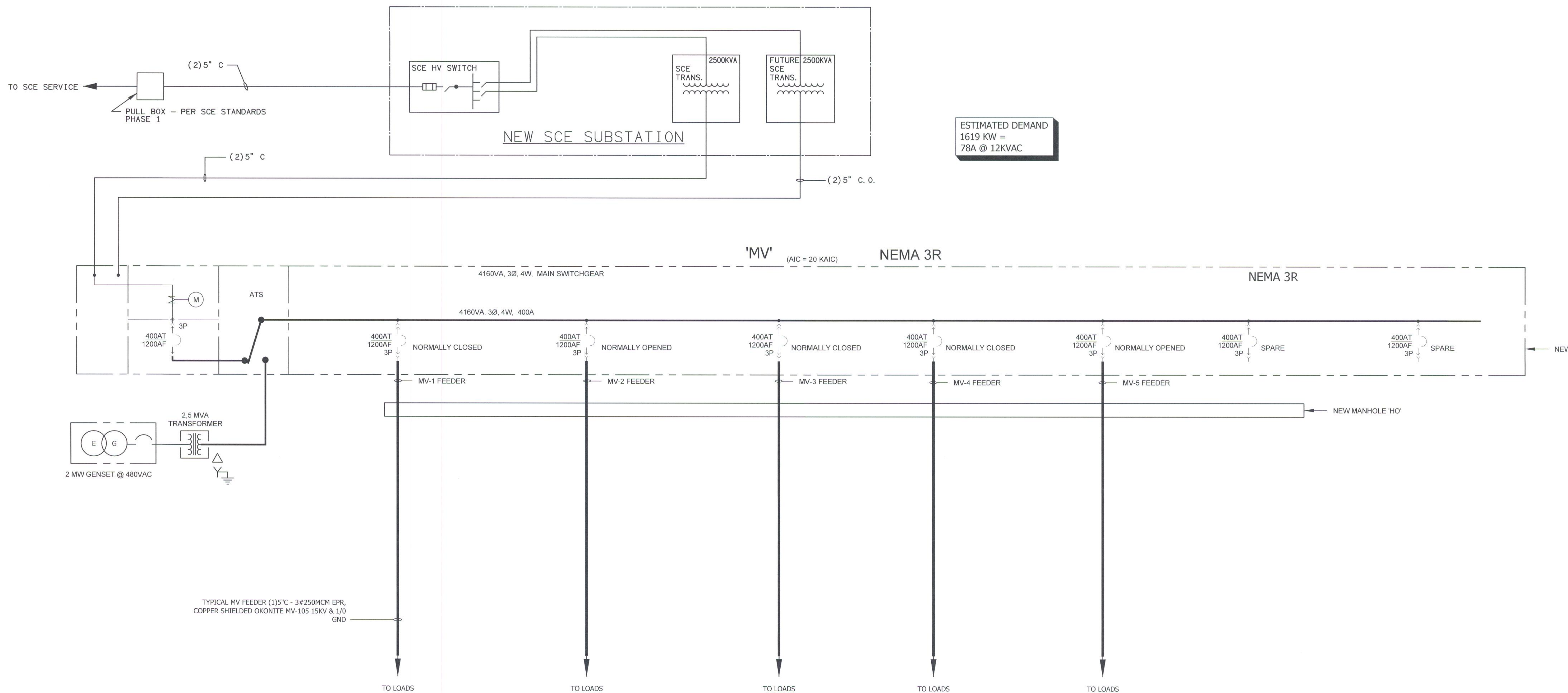
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NEW 4160VA MEDIUM VOLTAGE SERVICE FROM SCE SINGLE LINE DIAGRAM

SCALE: NONE

1
E200

NO. DATE REVISION

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HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE

NEW 4160VA
MEDIUM VOLTAGE
SERVICE FROM
SCE SINGLE LINE
DIAGRAM

SCALE
As indicated
DATE
01/29/2022

DRAWN
L. K/D. S.
CHECKED
K.L.
SHEET NO.

E200

L.A.T.# 22-503 PAPER SIZE 42"x30"



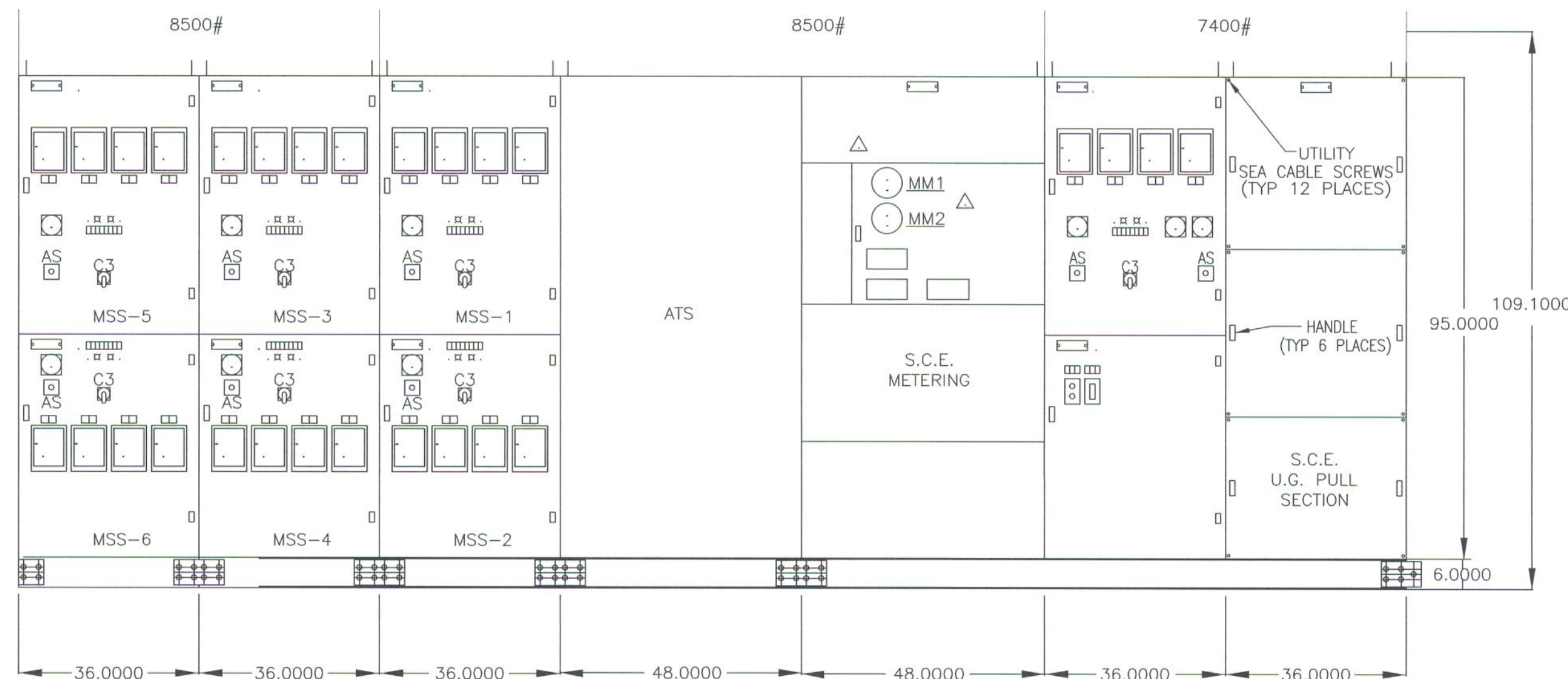
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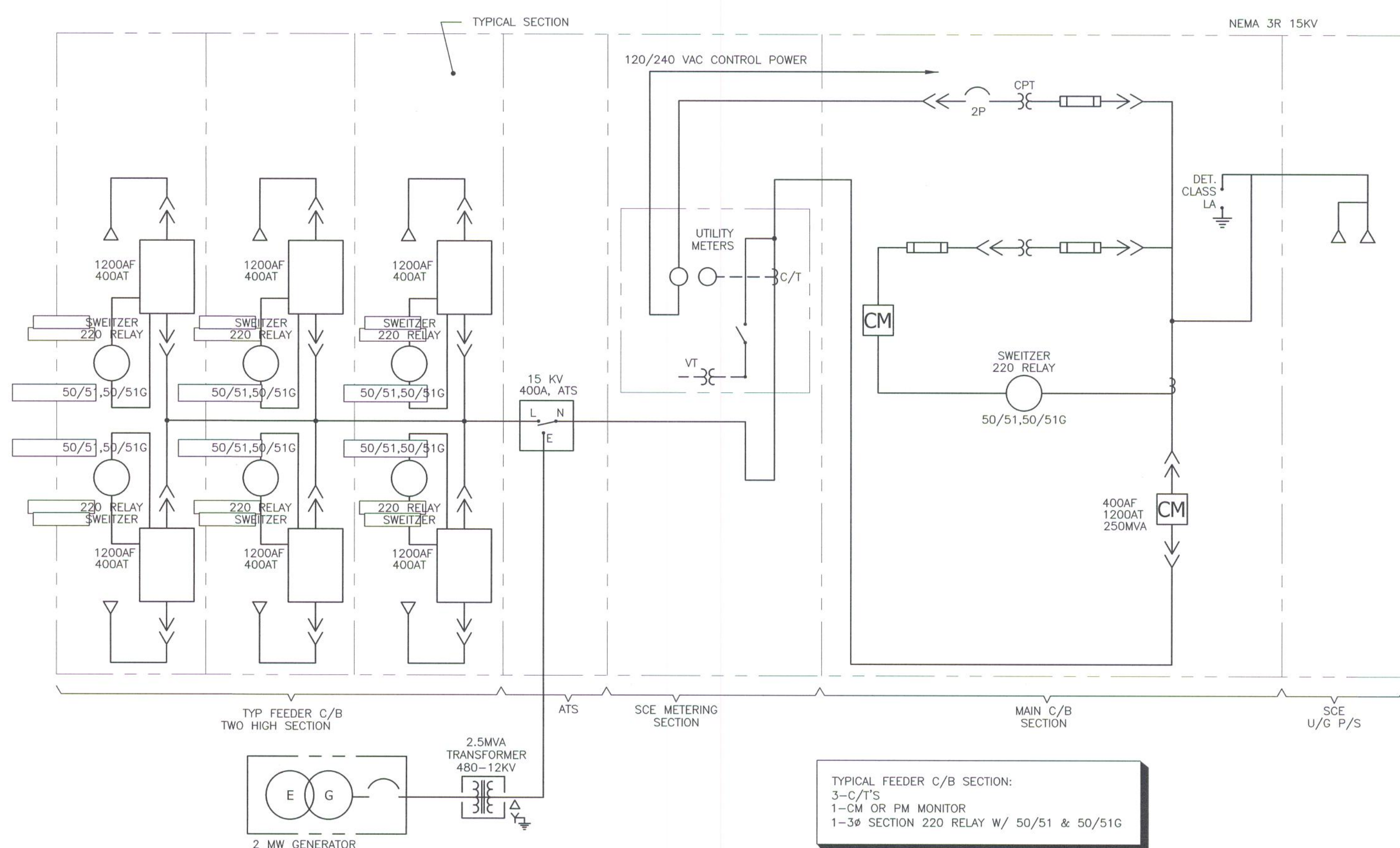


METAL CLAD 15KV SWITCHGEAR FRONT ELEVATION

SCALE: NONE

NEMA 3R

2
E201

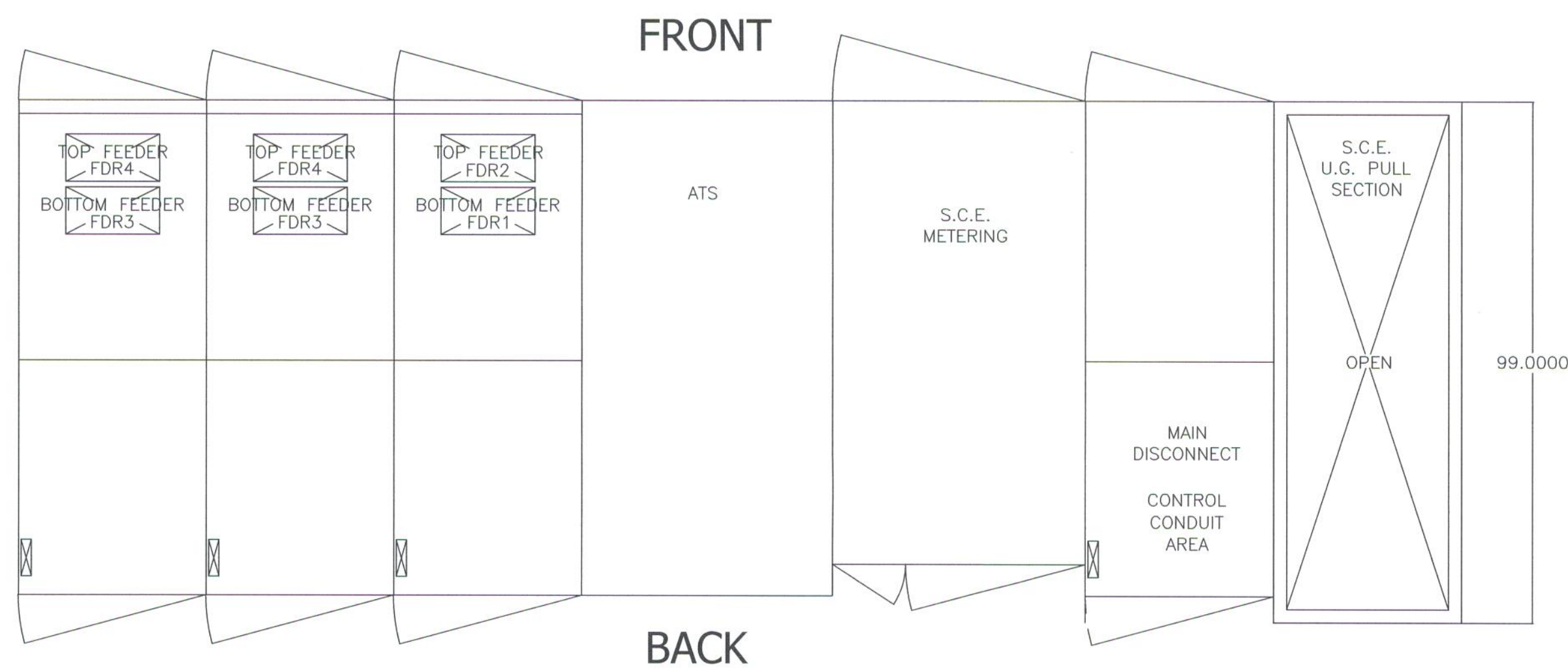


METAL CLAD 'HVMSB' 15KV SWITCHGEAR SINGLE LINE

SCALE: NONE

NEMA 3R

3
E201



15KV SWITCHGEAR PLAN VIEW

SCALE: NONE

NEMA 3R

1
E201

NO. DATE REVISION

BEACH CITIES
HEALTH DISTRICT
HEALTHY LIVING
CAMPUS

514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.
19010

DRAWING TITLE

METAL CLAD 5KV
SWITCHGEAR
ELEVATIONS

SCALE

As indicated

DATE

01/29/2022

DRAWN

L. K/D. S.

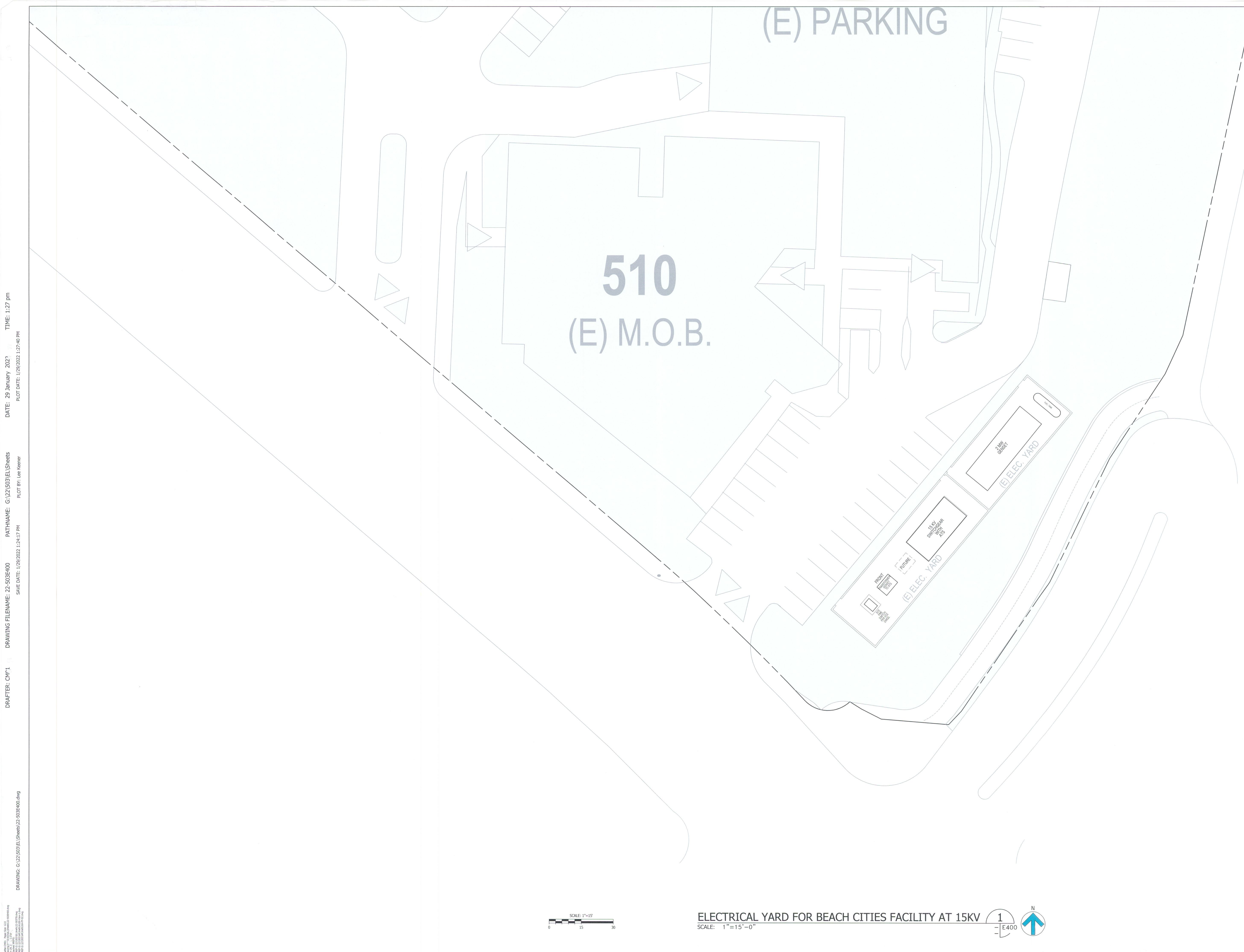
SHEET NO.

CHECKED

K.L.

E201

L.A.I. # 22-503 PAPER SIZE 42"x30"



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
210 368-0993

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NO.	DATE	REVISION
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BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS		
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514 NORTH PROSPECT AVE.
REDONDO BEACH, CA 90277

PMA PROJECT NO.	19010
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DRAWING TITLE	ELECTRICAL YARD FOR BEACH CITIES FACILITY AT 15KV
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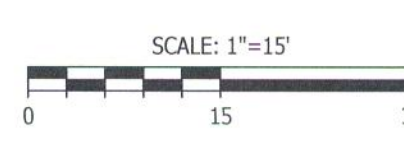
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DATE	01/29/2022
DRAWN	L. K/D. S.
CHECKED	K.L.
SHEET NO.	

E400

L.A.I.# 22-503 PAPER SIZE 42"x30"

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K.L.
E400



ELECTRICAL YARD FOR BEACH CITIES FACILITY AT 15KV
SCALE: 1"=15'-0"

