

# BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVENUE, REDONDO BEACH, CA 90277  
OWNER CONTACT: BEACH CITIES HEALTH DISTRICT | TOM BAKALY | TEL: 310.374.3426, x118 | WWW.BCHD.ORG



ARTIST'S RENDITION



PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0983

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

NO. DATE REVISION

BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
COVER SHEET

SCALE  
DATE  
02/02/2022  
DRAWN  
AO  
CHECKED  
PM  
SHEET NO.

G000



# BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVENUE, REDONDO BEACH, CA 90277



## ABBREVIATIONS

A ABOVE ABOVE FINISH FLOOR ACCESS PANEL ACOUSTICAL CEILING TILE AGGREGATE AIR CONDITION ALUMINUM AMERICAN CONCRETE INSTITUTE AMERICAN INSTITUTE OF STEEL CONSTRUCTION AMERICAN NATIONAL STANDARDS INSTITUTE AMERICAN SOCIETY OF CIVIL ENGINEERS AMERICAN SOCIETY OF TESTING AND MATERIAL AMERICAN WELDING SOCIETY AMOUNT ANCHOR BOLT AND ANGLE ANODIZED APPROVED APPROXIMATE ARCHITECT OR ARCHITECTURAL ASBESTOS ASPHALT ASPHALT TILE ASPHALTIC CONCRETE ASSOCIATE ASSOCIATION AT AUTOMATIC AVENUE	ABV. A.F.F. ACP A.C.T. AGG. A/C ALUM. A.C.I. AISC or A.I.S.C. ANSI ASCE ASTM AWS AMT. A.B. & L ANOD. APPRO. APPROX. ARCH ASB. ASPH. A.T. A.C. ASSOC. ASSN. @ AUTO AVE.	CORRIDOR COUNTERSINK CUBIC CUBIC FEET PER MINUTE CUBIC FOOT CUBIC INCH CUBIC YARD CURB FACE D DEGREE DEPARTMENT DETAIL DIAGONAL DIAMETER DIMENSION DISP. DIST. DIV. DOOR DOUBLE DWL DN D.S. DRAWING DRINKING FOUNTAIN E EACH ELECTROMERIC MEMBRANE ELECTRIC or ELECTRICAL ELEVATION ELEVATOR EMERGENCY ENAMEL END VERTICAL CURVE ENGINEER EQUAL EQUIP. EQUIV. EST. EXCAVATE EXISTING EXISTING EXPANSION BOLT EXPANSION JOINT EXPOSED CONSTRUCTION EXT. EXTERIOR EXTERIOR GRADE EXTRUDED EYE WASH	CORR. CSK CU. CFM CU. FT. CU. IN. CU. YD. C.F. DEG. or ° DEPT. DET. DIAG. DIA. or DIM. DISP. DIST. DIV. DR DWL DN D.S. DWG DF. EA. E ELEC. EL. ELEV. EMER. EN. ENG. or ENG. EQ. EQUIP. EST. EXC. EXIST. (E) E.B. E.J. EXT. EXT. GR. EXTR. E.W.	H HANDICAP HANGER HARDBOARD HARDNER HARDWARE HARDWOOD HDR. HT. HEX H.P. H.C. H.M. HORIZ. HK H.B. HR. I BEAM INCH INFORMATION INSIDE DIAMETER INSULATION INTER. INTERIOR GRADE INTERMEDIATE INVERT J JOINT JOIST K KIP L LABORATORY LAMINATE LANDING LAV. LEV. L.T. LINO. LG. LUM.	GL. GL. GOVT. G.B. GR. GRAN. GRTG. GYP. BD. H2/ HGR HBD HARD. HDW. HWD. HDR. HT. HEX H.P. H.C. H.M. HORIZ. HK H.B. HR. I IN or " INFO INSUL. INT. INT. GR. INTER. J JOIST K LAB. LAM. LDG. LAV. LEV. L.T. LINO. LG. LUM. M MACHINE MANHOLE MANUFACTURER or MANUFACTURING MANUFACTURERS ASSOC. MARK MASONRY OPENING MAT. MATERIAL MAX. MECH. MC MTP. MEZZ. MFT. MIN. MISC. MLDG. MTD. N NATIONAL NATIONAL BOARD OF FIRE UNDERWRITERS NATIONAL ELECTRICAL CODE NATURAL NAT. GRADE NEW NOMINAL NORTH N.C.	NOT TO SCALE NUMBER O OCCUPATIONAL SAFETY AND HEALTH ADMINIST. OFF. ON CENTER OPENING OPPOSITE OUT TO OUT OUTSIDE DIAMETER OUTSIDE FACE CONCRETE OUTSIDE FACE MASONRY OVER FLOW DRAIN P PAINTED PAIR PARTITION PEDESTAL PENNY PERFORATED PERPENDICULAR PF PICKET FENCE PIECE PIPE BOLLARD PLASTER PLASTIC LAMINATE PLATE PLYWOOD PT. PVE PVC P.C. P.B. PLAS. P-LAM. PL. PLYWD. PT. PVE PVC P.C.C. LB or # P.P. PRCST. PREFAB. PROP. P.C. QT R RADIUS RECT. RECTANGLE REDWOOD RE R.C.P. REF. REFRIG. REQD. REV. R.O.W. R RF. R.D. RFG. RM. RD. ROUND R.B. S SCHEDULE SE. SECT. SHTG. SHT. SIM. SGL. S.D. SANT. SEW. S.C. S. SPK. SPEC. SQ. STAGG. SS STD. STL.	N.T.S. NO. or # O.S.H.A. OFF. O.C. O.F.C. O.F.M. O.F.S. OFD PTD. PR P.NL. PART. PED. P PENN. PERF. PERP. PF PC P.B. PLAS. P-LAM. PL. PLYWD. PT. PVE PVC P.C.C. LB or # P.P. PRCST. PREFAB. PROP. P.C. QT RAD. RECT. RECTANGLE REDWOOD RE R.C.P. REF. REFRIG. REQD. REV. R.O.W. R RF. R.D. RFG. RM. RD. ROUND R.B. SCH SE. SECT. SHTG. SHT. SIM. SGL. S.D. SANT. SEW. S.C. S. SPK. SPEC. SQ. STAGG. SS STD. STL.	STIFFENER STIRRUP STONE STRAIGHT GRADE STREET ST. STRUCT. SUPT. S4S SUSP. SYMM. SYMMETRICAL T TELEPHONE TEMP. TEMPERATURE TERR. THK. THLD T.O. T&G T.G. T.O.B. T.O.C. T.M.D. T.O.F. T.C. T.O.J. T.O.M. T.O.P. TOS / T.O.S. T.S.S. T.O.Y.W. T. TRNBKL. TYP. U UNDER CUT UNIFORM BUILDING CODE UNLESS NOTED OTHERWISE V VEE JOINT VENTILATOR VERIFY IN FIELD VERTICAL VESTIBULE VINYL VINYL COMPOSITION TILE VINYL WALL COVERING VOLUME W WAREHOUSE WATER CLOSET WATER HEATER WATER RESISTANT WATERPROOF or WATERPROOFING WEIGHT WELDED WIRE FABRIC WEST WIDE FLANGE (STEEL) WITH WOOD Y YARD YD.
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## DRAWING INDEX

GENERAL		LANDSCAPE	
G000	COVER SHEET	L101	LANDSCAPE PLAN
G001	TITLE SHEET		
		CIVIL	
REFERENCE		C000	TITLE SHEET
R001	SITE SURVEY	C100	EROSION CONTROL PLAN
R002	EXISTING TREE PLAN	C210	GRADING PLAN
R003	EXISTING TREE DEMO PLAN	C300	LOW IMPACT DEVELOPMENT/DRAINAGE PLAN
		C400	UTILITY PLAN
ARCHITECTURAL		C500	FIRE ACCESS PLAN
(E) A100	EXISTING SITE PLAN		
(E) A101	EXISTING OPEN SPACE SITE PLAN	ELECTRICAL	
A100	EXISTING + PROPOSED SITE PLAN	E200	NEW 4160VA MEDIUM VOLTAGE SERVICE FROM SCE SINGLE LINE DIAGRAM
A101	SITE PLAN	E201	METAL CLAD 5KV SWITCHGEAR ELEVATIONS
A102	OPEN SPACE SITE PLAN	E400	ELECTRICAL YARD FOR BEACH CITIES FACILITY AT 15KV
A103	FLOOR PLANS		
A104	FLOOR PLANS		
A200	COMPARATIVE SECTIONS		
A201	SITE SECTIONS		
A202	SITE SECTIONS		
A300	EXISTING NORTHEAST 3D MASSING VIEW		
A301	NORTHEAST 3D MASSING VIEW		
A302	NORTHWEST 3D MASSING VIEW		
A303	SOUTHEAST 3D MASSING VIEW		
A304	SOUTHWEST 3D MASSING VIEW		
A401	ELEVATIONS		
A402	ELEVATIONS		
A501	NORTHEAST PERSPECTIVE VIEW		
A502	SOUTHEAST PERSPECTIVE VIEW		
A601	MATERIALS + COLOR PALETTE		

## PROJECT SCOPE

THE PROPOSED BEACH CITIES HEALTH DISTRICT (BCHD) HEALTHY LIVING CAMPUS MASTER PLAN (PROJECT) WOULD REDEVELOP THE EXISTING BCHD CAMPUS LOCATED IN THE CITY OF REDONDO BEACH. THE PROPOSED PROJECT INCLUDES THE SITE DEVELOPMENT OF ASSISTED LIVING, MEMORY CARE, COMMUNITY SERVICES, MEDICAL SERVICE SPACE, A YOUTH CENTER, SURFACE PARKING, AND PROGRAMMABLE OPEN SPACE. THE PROJECT WILL BE CARRIED OUT IN THREE (3) PHASES:

PHASE 1A: RELOCATION OF EXISTING COOLING TOWERS AND GRADING AT NORTH OF SITE.

PHASE 1B: CONSTRUCTION OF THE PROPOSED BUILDING.

PHASE 1C: DEMOLITION OF THE EXISTING 514 BUILDING. CONSTRUCTION OF PARKING AND PROGRAMMABLE OPEN SPACE.

## LEGAL DESCRIPTION

OWNER:	BEACH CITIES HEALTH DISTRICT
PROJECT ADDRESS:	514 NORTH PROSPECT AVENUE REDONDO BEACH, CA 90277
AIN#	7502-017-902 7502-017-903

## ZONING INFORMATION

### LAND USE DESIGNATIONS AND ZONING REFERENCES:

- CITY OF REDONDO BEACH GENERAL PLAN (CITY OF REDONDO BEACH 2008, 2011, SECTION 3.10 LAND USE AND PLANNING).
- REDONDO BEACH ZONING ORDINANCE
- REDONDO BEACH MUNICIPAL CODE TITLE 10 PLANNING AND ZONING CHAPTER 2 ZONING AND LAND USE

AIN: ZONING DISTRICT LAND USE: AREA:	750-2017-902 C-2 COMMERCIAL ZONE C-2, COMMERCIAL 0.43 ACRES
SETBACKS	MIN. REQUIRED PROPOSED FRONT SET BACK 5'-0" FRONT UTILITY SET BACK 11'-0" SIDE SET BACK 10'-0"
HEIGHTS	MAX. HEIGHT PROPOSED 30'-0" FROM CENTER LINE OF (E) GRADE 30'-0"

AIN: ZONING DISTRICT LAND USE: AREA:	7502-017-903 P-C OF COMMUNITY FACILITY ZONE P PUBLIC OR INSTITUTIONAL 9.94 ACRES
SETBACKS	SETBACKS SHALL BE DETERMINED SUBJECT TO PLANNING COMMISSION DESIGN REVIEW.
HEIGHTS	MAX. HEIGHT PROPOSED 107'-6"
	*HEIGHT OF BUILDINGS OR STRUCTURES SHALL BE DETERMINED SUBJECT TO PLANNING COMMISSION DESIGN REVIEW.

## BUILDING DATA

BUILDING CONSTRUCTION TYPE:	I-A UNSEPARATED OR 2A WITH VERTICAL SEPARATION
BUILDING OCCUPANCY:	ASSISTED LIVING: R-2.1 MEMORY CARE: I-2 COMMUNITY SERVICES: A-3 (ACCESSORY TO ASSISTED LIVING AND MEMORY CARE) PACE MEDICAL SERVICE: I-2.1 YOUTH WELLNESS CENTER: A-3 (ACCESSORY TO ASSISTED LIVING AND MEMORY CARE) SERVICE/ PARKING: S-2

BUILDING HEIGHT:	108'-8"
NO. OF STORIES:	6.5 STORIES ABOVE AND 2 BASEMENT STORIES
GROSS FLOOR AREA:	292,170 SF

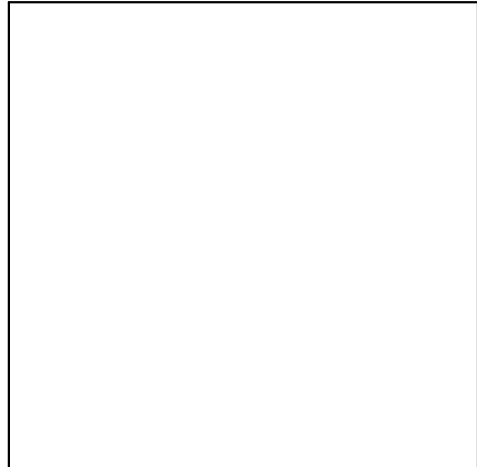
## VICINITY MAP



PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310 358-0983

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514 NORTH PROSPECT AVE. REDONDO BEACH, CA 90277		

NO. PROJECT NO.  
19010

DRAWING TITLE  
TITLE SHEET

SCALE

DATE  
02/02/2022

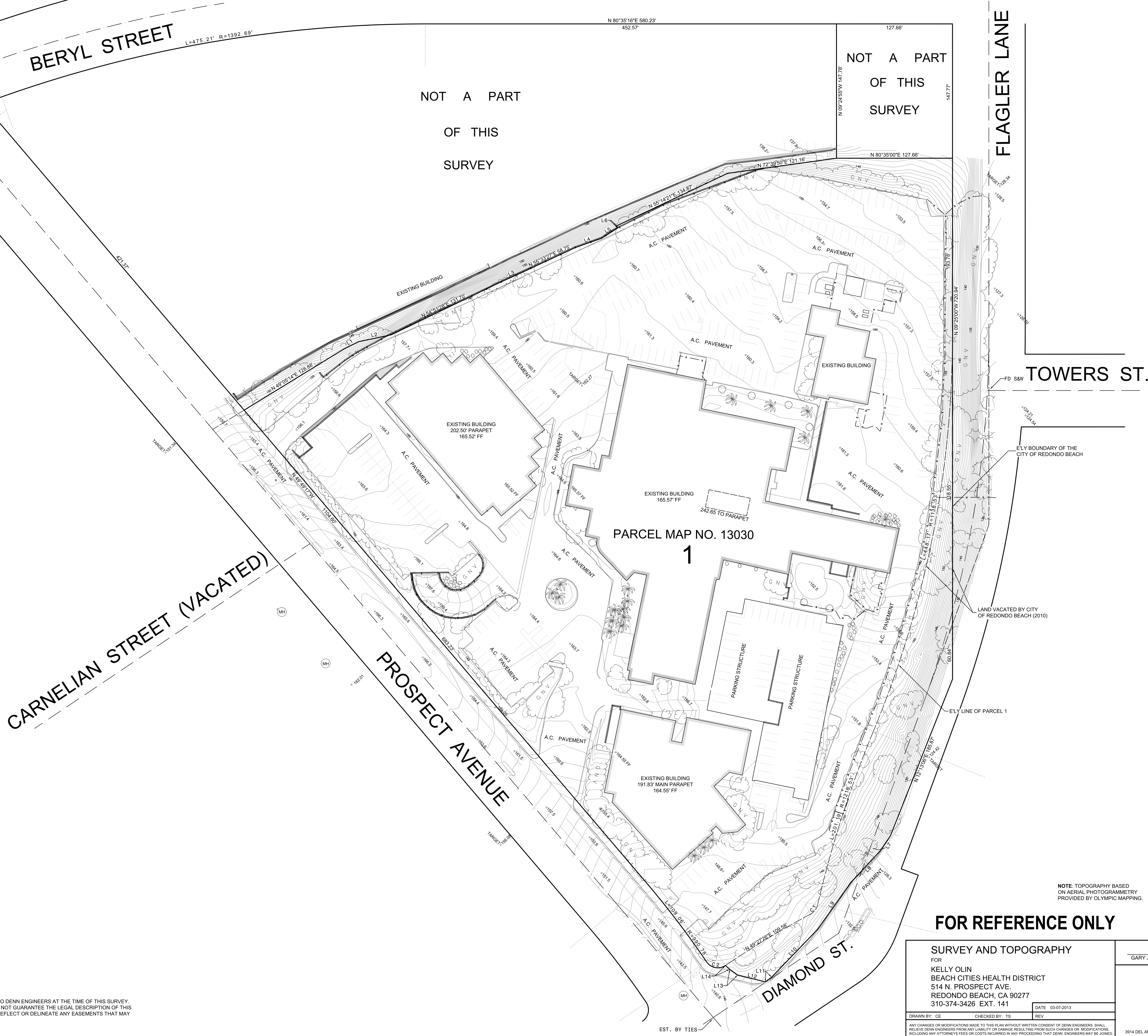
DRAWN  
AO

CHECKED  
PM

SHEET NO.

G001





**LEGEND**

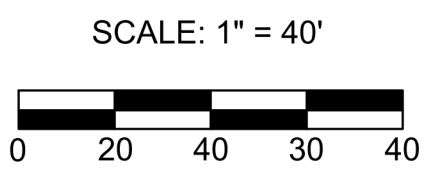
- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BEGINNING OF CURB RETURN
- C/L CENTERLINE
- E/LV EASTERLY
- F/D FOUND
- FF FINISH FLOOR
- FL FIRE HYDRANT
- FLW FLOW LINE
- GFF GARAGE FINISH FLOOR
- GM GAS METER
- GW GUY WIRE
- L&T LEAD AND TAG
- M/H MANHOLE
- N/LY NORTHERLY
- PC PROPERTY CORNER
- PL, P/L PROPERTY LINE
- PP POWER POLE
- S&W SPIKE AND WASHER
- S/LY SOUTHERLY
- SPK SPIKE
- SSMH SANITARY SEWER MANHOLE
- STK STAKE
- STLT STREET LIGHT
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DRIVEWAY APRON
- W/LY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

LINE TABLE		
Course	Bearing	Distance
L1	N 54°27'45" E	18.22'
L2	N 68°41'19" E	36.23'
L3	N 56°07'14" E	33.64'
L4	N 61°10'11" E	30.80'
L5	N 47°58'42" E	21.18'
L6	N 34°45'39" W	2.57'
L7	S 25°00'14" W	19.72'
L8	S 33°30'59" W	47.04'
L9	S 25°58'25" W	63.88'
L10	S 34°29'00" W	72.68'
L11	S 43°48'19" W	8.66'
L12	N 85°19'44" W	31.63'
L13	N 63°20'39" W	10.45'
L14	N 58°11'03" W	6.33'

CURVE TABLE			
Curve	Radius	Length	Delta
C1	15.00'	12.77'	48°47'35"
C2	15.00'	23.50'	89°46'17"
C3	15.00'	29.02'	110°51'36"



JOB ADDRESS  
514 N. PROSPECT AVE.  
REDONDO BEACH, CA.

LEGAL DESCRIPTION  
PARCEL 1  
P.M. NO. 13030  
P.M.B. 144-3  
APN 7502-017-901

NOTE: TOPOGRAPHY BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY OLYMPIC MAPPING.

FOR REFERENCE ONLY

SURVEY AND TOPOGRAPHY  
FOR  
KELLY OLIN  
BEACH CITIES HEALTH DISTRICT  
514 N. PROSPECT AVE.  
REDONDO BEACH, CA 90277  
310-374-3426 EXT. 141

DATE 03-07-2013

DRAWN BY: CE CHECKED BY: TS REV

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GARY J. ROEHL R.C.E. 30826

**DENN**  
ENGINEERS

JOB NO.  
12-444

SHEET  
1

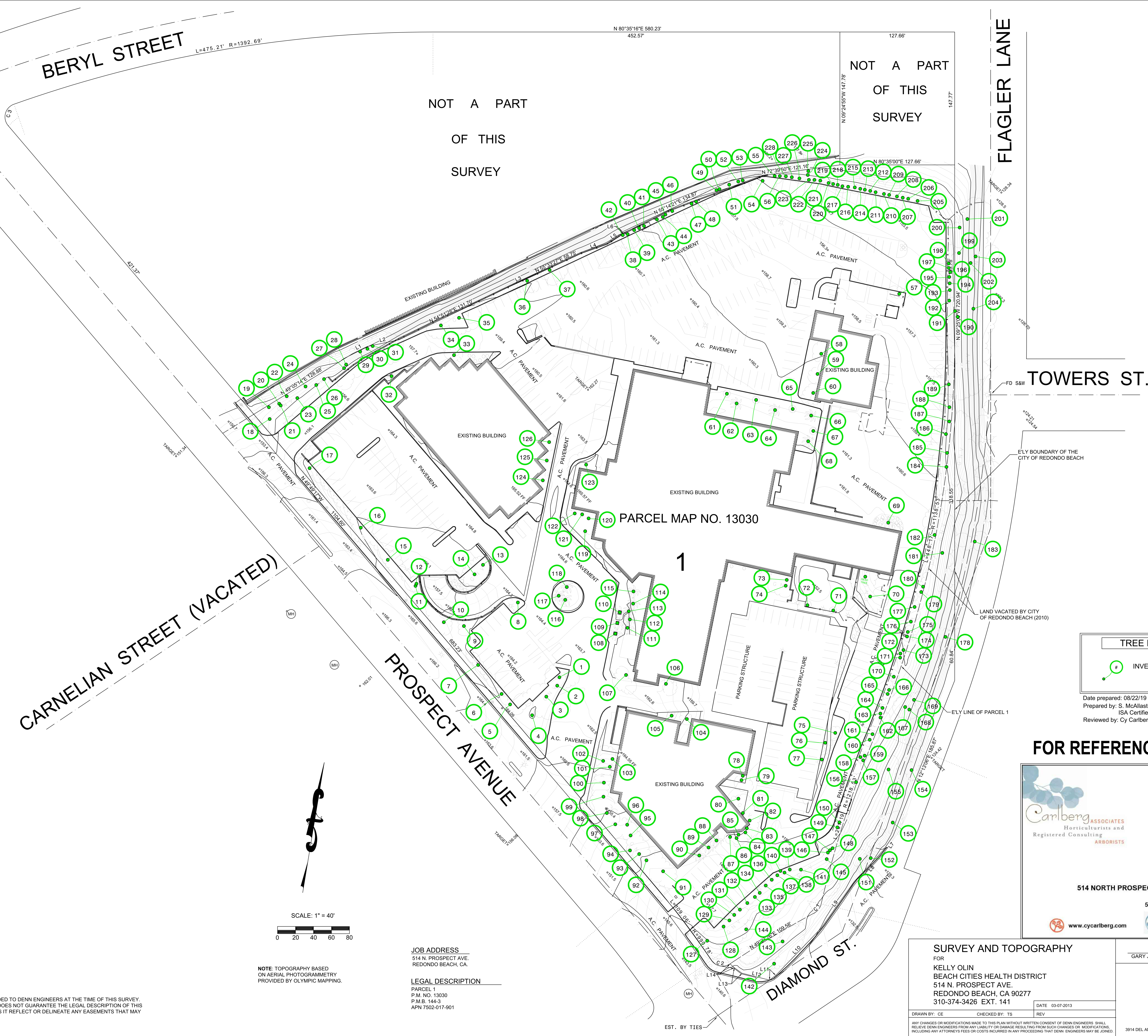
OF 1

3914 DEL AMO BLVD, SUITE 921 • TORRANCE, CA 90503 • (310) 542-9433

NOTE:  
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.

EST. BY TIES





**LEGEND**

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- BEGINNING OF CURB RETURN
- C.L. CENTERLINE
- E.L. EASTERLY
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**TREE INVENTORY LEGEND**

- INVENTORIED TREE

Date prepared: 08/22/19  
Prepared by: S. McAllister, ISA Certified Arborist  
Reviewed by: Cy Carlberg, RCA #405

**FOR REFERENCE ONLY**

**CARLBERG ASSOCIATES**  
Horticulturalists and Registered Consulting ARBORISTS

**TREE LOCATION EXHIBIT**  
BEACH CITIES HEALTH DISTRICT  
514 NORTH PROSPECT AVENUE, REDONDO BEACH, CALIFORNIA 90277  
PREPARED FOR: BEACH CITIES HEALTH DISTRICT  
514 NORTH PROSPECT AVENUE, REDONDO BEACH, CA 90277

www.cycarlberg.com

Date: 08.22.19 By: S. McAllister

**SURVEY AND TOPOGRAPHY**  
FOR  
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**DENN ENGINEERS**

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JOB NO. 12-444  
SHEET 1  
OF 1

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**SCALE:** 1" = 40'

0 20 40 60 80

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P.M. NO. 13030  
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APN 7502-017-901





EST. BY TIES

**SYMBOL LEGEND**

● # EXISTING TREES TO BE DEMOLISHED

● # EXISTING TREES TO REMAIN

**FOR REFERENCE ONLY**

▲

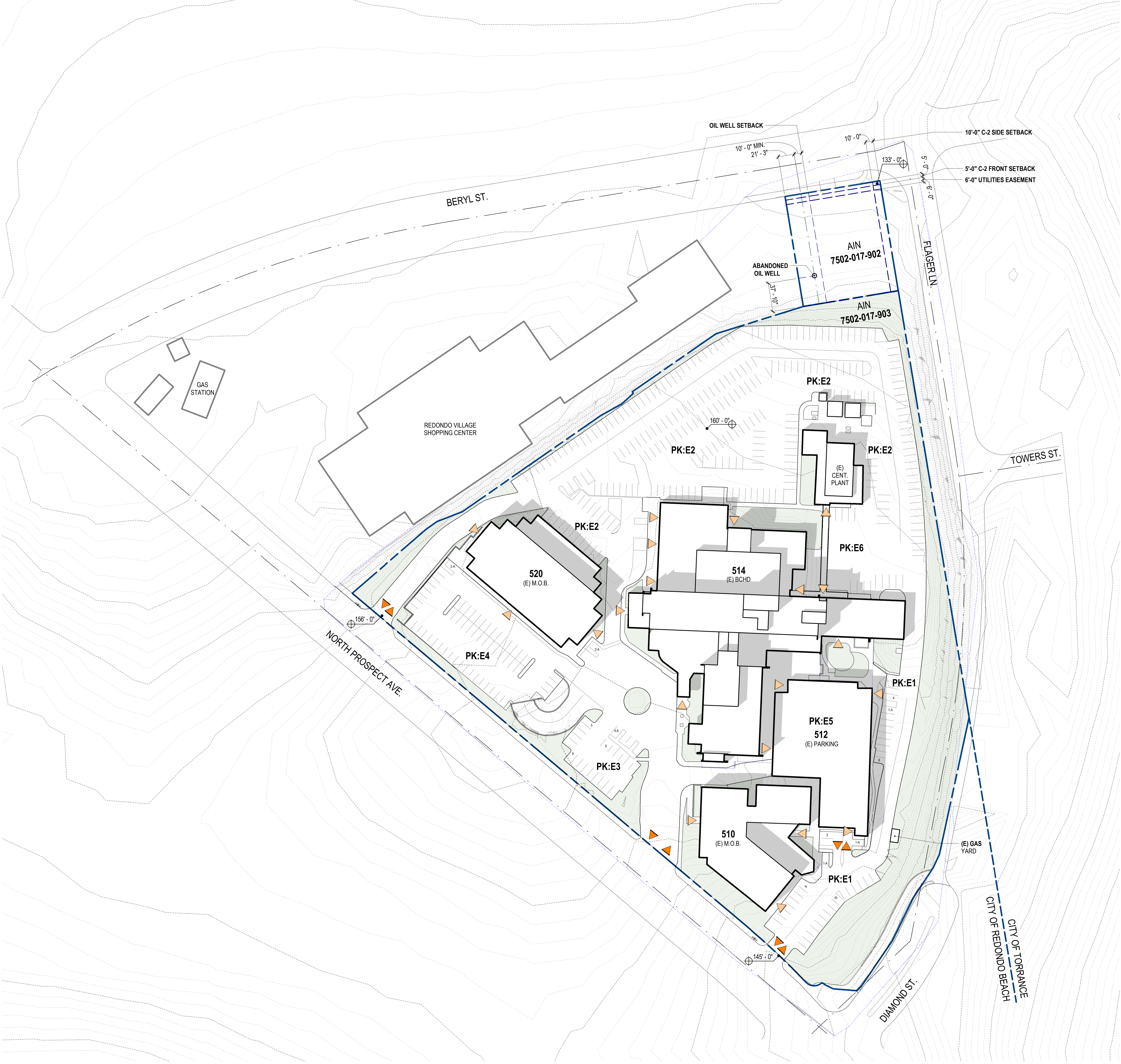
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DRAWING TITLE EXISTING TREE DEMO PLAN		
SCALE 1" = 40'		
DATE 02/02/2022		
DRAWN Author	CHECKED Checker	
SHEET NO. R003		





EXISTING LAND USE DESIGNATIONS AND ZONING

AIN:	7502-017-903
ZONING DISTRICT	P-CF COMMUNITY FACILITY ZONE
LAND USE:	P PUBLIC OR INSTITUTIONAL
AREA:	9.94 ACRES
AIN:	750-2017-902
ZONING DISTRICT	C-2 COMMERCIAL ZONE
LAND USE:	C-2, COMMERCIAL
AREA:	0.43 ACRES
LAND USE DESIGNATIONS AND ZONING REFERENCES:	
<ul style="list-style-type: none"><li>CITY OF REDONDO BEACH GENERAL PLAN (CITY OF REDONDO BEACH 2008, 2011, SECTION 3.10 LAND USE AND PLANNING),</li><li>REDONDO BEACH ZONING ORDINANCE</li><li>REDONDO BEACH MUNICIPAL CODE TITLE 10 PLANNING AND ZONING CHAPTER 2 ZONING AND LAND USE</li></ul>	

EXISTING SITE OPEN SPACE

HILLSIDE	50,950 SF
OTHER	31,910 SF
TOTAL EXISTING OPEN SPACE	82,940 SF

EXISTING PARKING

PK:E1	41 SPACES	3 ACCESSIBLE
PK:E2	257 SPACES	3 ACCESSIBLE
PK:E3	24 SPACES	4 ACCESSIBLE
PK:E4*	281 SPACES	8 ACCESSIBLE
PK:E5*	199 SPACES	2 ACCESSIBLE
PK:E6*	11 SPACES	0 ACCESSIBLE
TOTAL*	813 TOTAL	20 ACCESSIBLE
*TOTAL PK:E4	281 SPACES	8 ACCESSIBLE
SURFACE	62 SPACES	4 ACCESSIBLE
P1	107 SPACES	4 ACCESSIBLE
P2	112 SPACES	0 ACCESSIBLE
*TOTAL PK:E5	199 SPACES	2 ACCESSIBLE
TOP DECK	59 SPACES	0 ACCESSIBLE
2ND LEVEL	52 SPACES	0 ACCESSIBLE
1ST LEVEL	53 SPACES	2 ACCESSIBLE
UNDERGROUND	35 SPACES	0 ACCESSIBLE
*TOTAL (E) SURFACE	395 SPACES	14 ACCESSIBLE
*TOTAL (E) STRUCTURE	418 SPACES	6 ACCESSIBLE
*PARKING SPACES SUBTOTALS + TOTALS INCLUDE ACCESSIBLE SPACES.		

SYMBOL LEGEND

- PEDESTRIAN ENTRY / EXIT
- VEHICULAR ENTRY / EXIT

PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0983

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NO.

DATE

REVISION

BEACH CITIES HEALTH DISTRICT  
HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.

19010

DRAWING TITLE

EXISTING SITE PLAN

SCALE

AS INDICATED

DATE

02/02/2022

DRAWN

EC

CHECKED

PM

SHEET NO.

(E) A100

EXISTING - SITE PLAN 1  
1" = 50'-0"





### EXISTING SITE OPEN SPACE

SOFTSCAPE	83,900 SF
UNDEVELOPED LAND	18,900 SF
HARDSCAPE	228,900 SF
BUILDINGS	120,400 SF
<b>TOTAL SITE AREA</b>	<b>452,100 SF</b>
<b>TOTAL OPEN SPACE</b>	<b>331,700 SF</b>

**\*PROGRAMMABLE OPEN SPACE 0.03 ACRES**

### SYMBOL LEGEND

	SOFTSCAPE 18% OF TOTAL SITE AREA
	PROGRAMMABLE OPEN SPACE 0.3% OF TOTAL SITE AREA
	UNDEVELOPED LAND 4% OF TOTAL SITE AREA
	HARDSCAPE 51% OF TOTAL SITE AREA
	BUILDINGS 27% OF TOTAL SITE AREA

**HARDSCAPE + BUILDING EQUALS 78% OF TOTAL SITE AREA**

PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0583

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NO.    DATE    REVISION

BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
EXISTING OPEN  
SPACE SITE PLAN

SCALE  
AS INDICATED

DATE  
02/02/2022

DRAWN    CHECKED  
AO    PM

SHEET NO.

(E) A101






EXISTING SITE PLAN



PROPOSED SITE PLAN



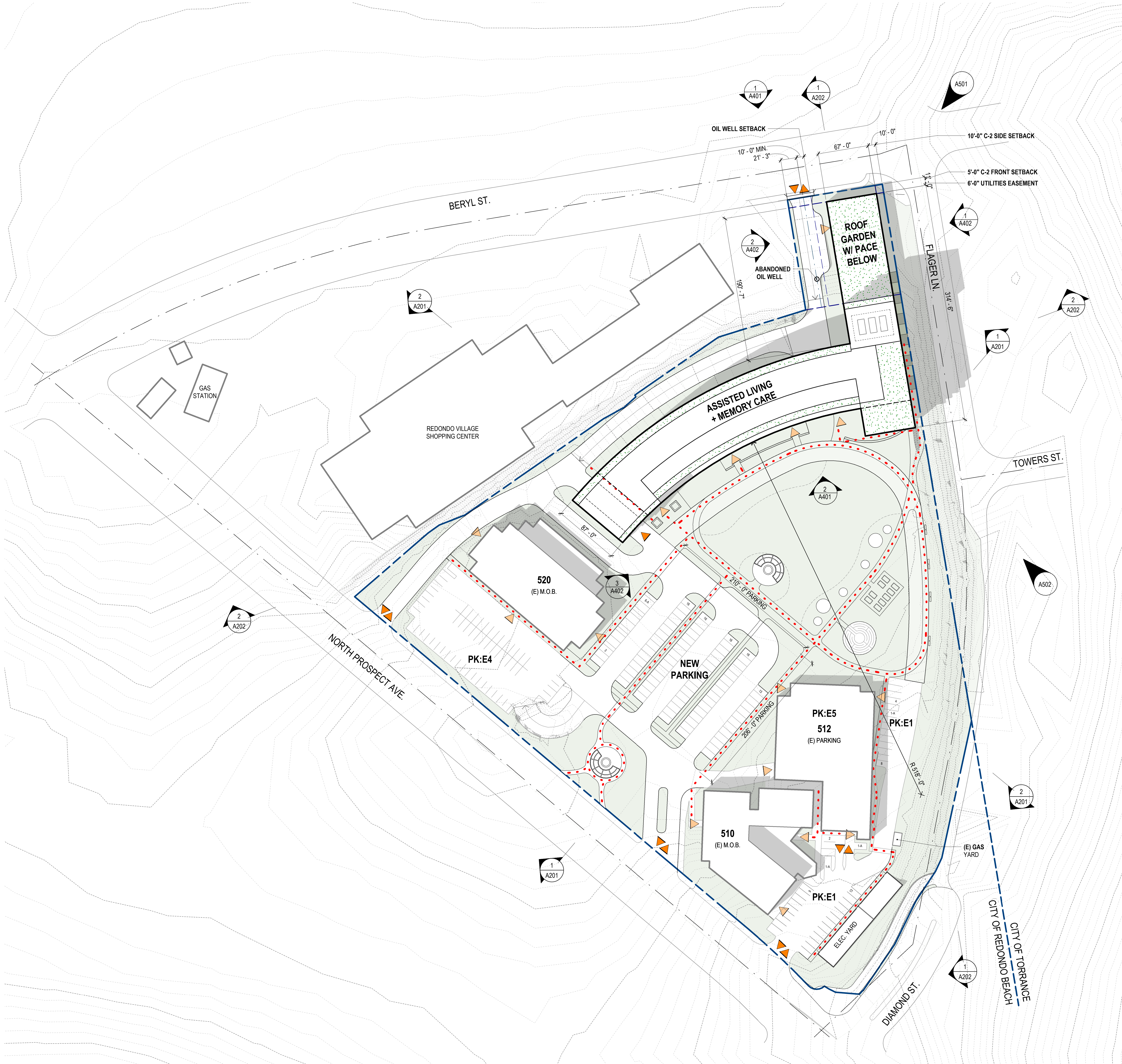
PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0983

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BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS		
514 NORTH PROSPECT AVE. REDONDO BEACH, CA 90277		
PMA PROJECT NO. 19010		
DRAWING TITLE EXISTING + PROPOSED SITE PLAN		
SCALE 		
DATE 02/02/2022		
DRAWN EC		CHECKED PM
SHEET NO. A100		





SITE OPEN SPACE		
MAIN CAMPUS	114,420 SF	
HILLSIDE	45,850 SF	
OTHER	35,800 SF	
TOTAL OPEN SPACE	196,070 SF	

PARKING		
PK:E1	39 SPACES	3 ACCESSIBLE
PK:E4	279 SPACES	6 ACCESSIBLE
PK:E5	199 SPACES	2 ACCESSIBLE
TOTAL EXISTING*	517 SPACES	11 ACCESSIBLE
TOTAL NEW*	86 SPACES	6 ACCESSIBLE
TOTAL*	603 SPACES	17 ACCESSIBLE

\*PARKING SPACES SUBTOTALS + TOTALS INCLUDE ACCESSIBLE SPACES.

SYMBOL LEGEND	
	PEDESTRIAN ENTRY / EXIT
	VEHICULAR ENTRY / EXIT
	ACCESSIBLE PATH OF TRAVEL

PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.358.0983

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BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
SITE PLAN

SCALE  
AS INDICATED

DATE  
02/02/2022

DRAWN  
EC

CHECKED  
PM

SHEET NO.

A101





SITE OPEN SPACE	
SOFTSCAPE	203,500 SF
HARDSCAPE	139,000 SF
TOTAL SITE AREA	452,100 SF
TOTAL OPEN SPACE	342,500 SF
*PROGRAMMABLE OPEN SPACE	2.12 ACRES

**SYMBOL LEGEND**

SOFTSCAPE  
25% OF TOTAL SITE AREA

PROGRAMMABLE OPEN SPACE  
20% OF TOTAL SITE AREA

HARDSCAPE  
31% OF TOTAL SITE AREA

BUILDING  
24% OF TOTAL SITE AREA

**HARDSCAPE + BUILDING EQUALS 55% OF TOTAL SITE AREA**

PAUL MURDOCH  
ARCHITECTS

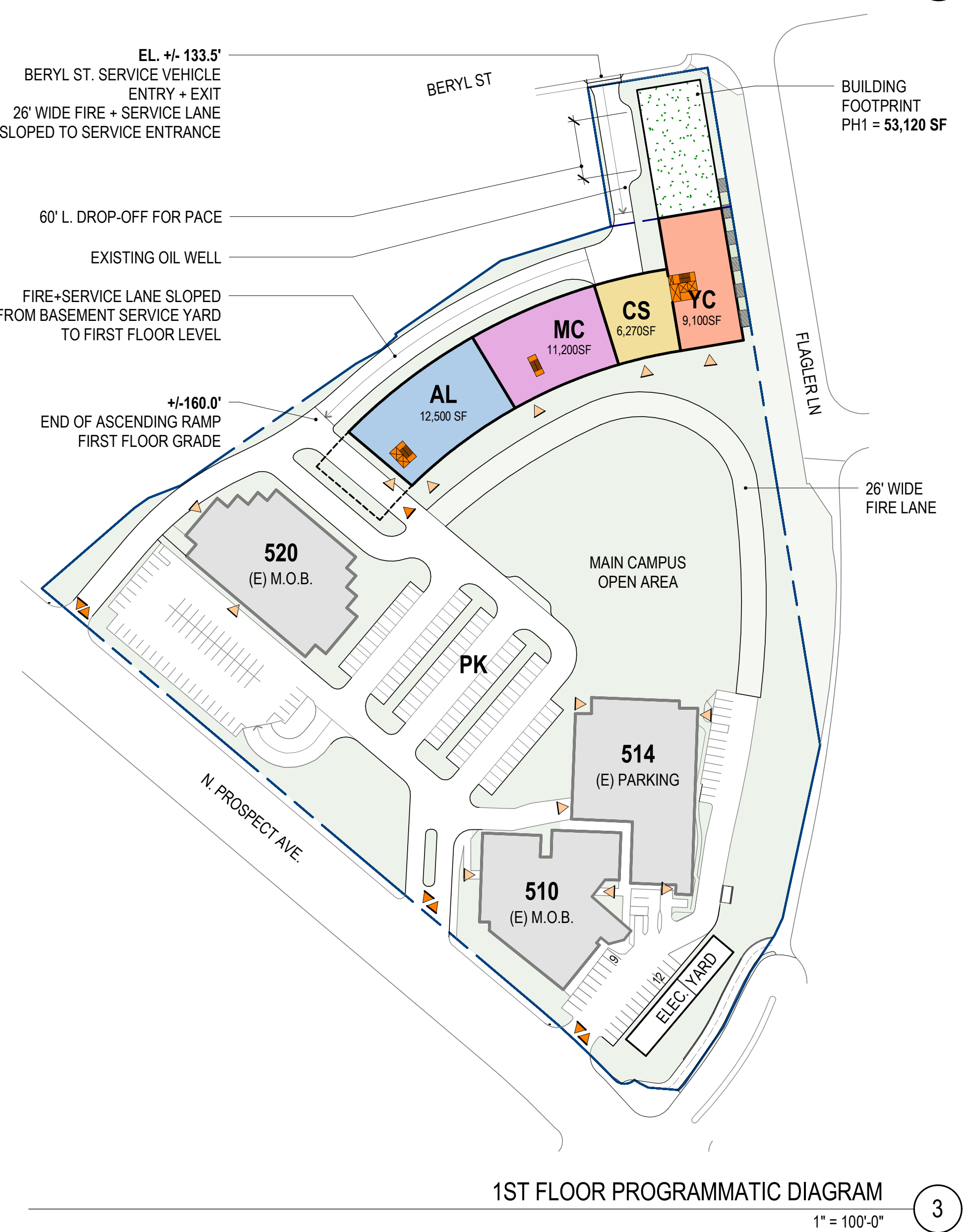
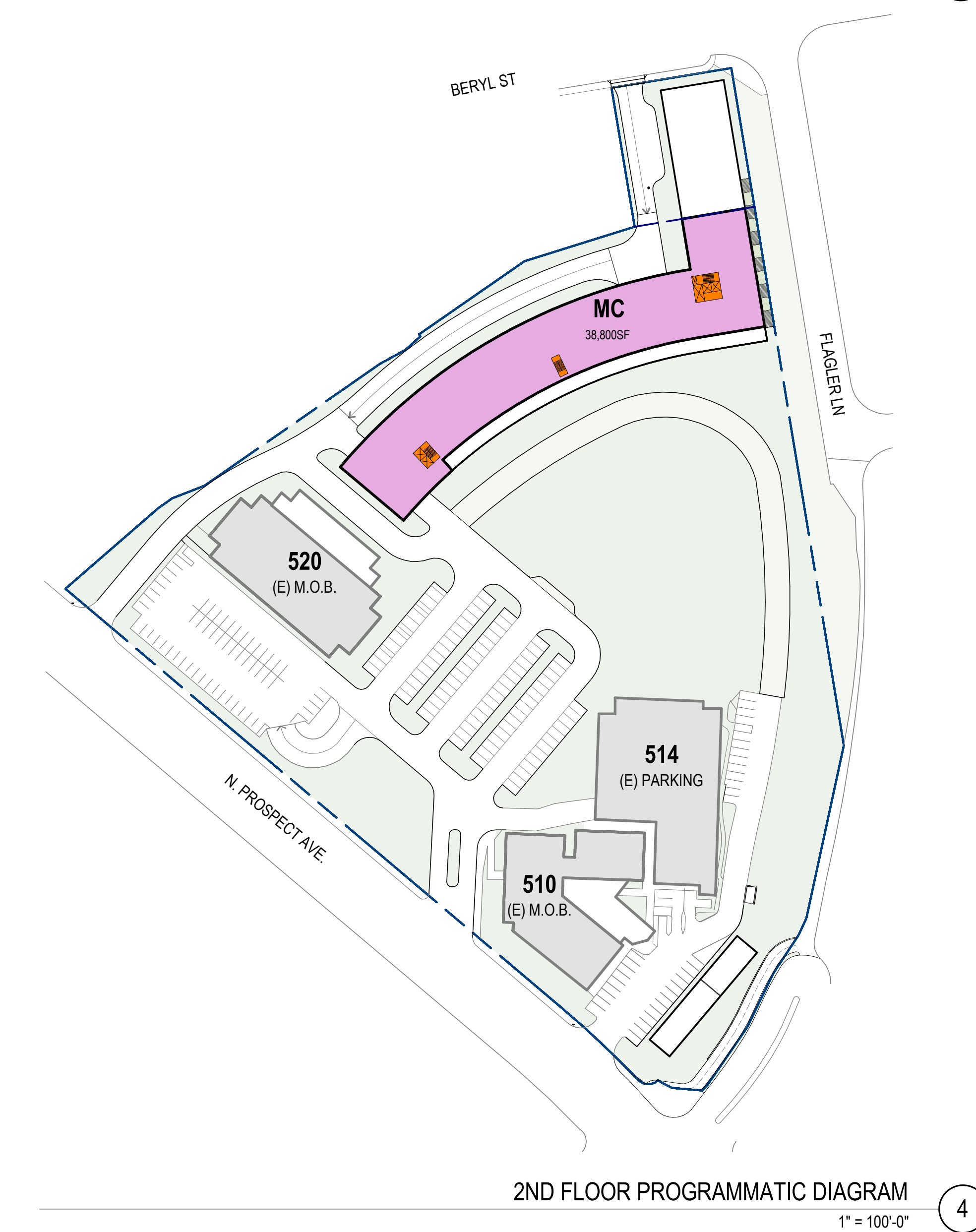
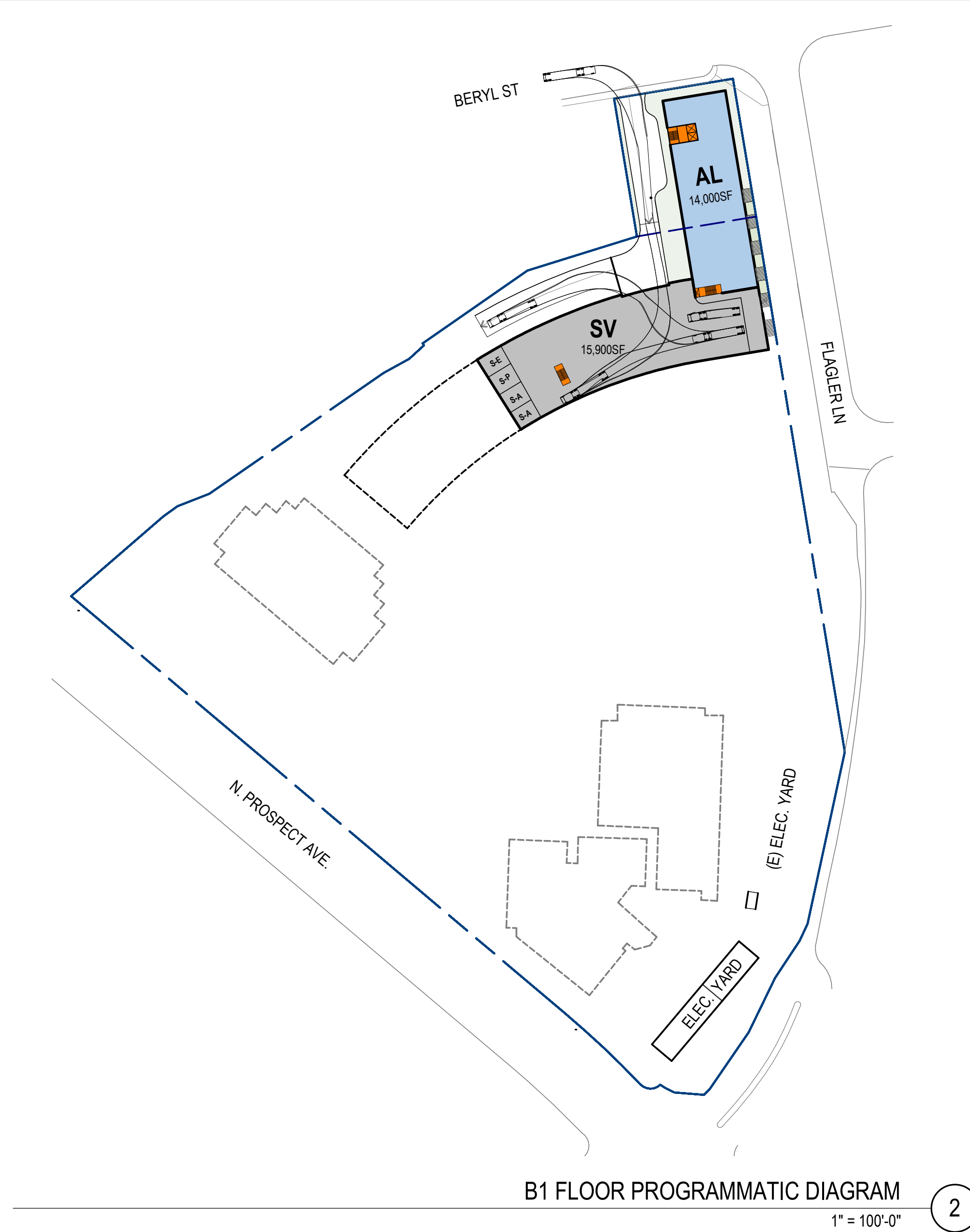
6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0983

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BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS		
514 NORTH PROSPECT AVE. REDONDO BEACH, CA 90277		
PMA PROJECT NO. 19010		
DRAWING TITLE OPEN SPACE SITE PLAN		
SCALE AS INDICATED		
DATE 02/02/2022		
DRAWN AO		CHECKED PM
SHEET NO.		

A102





SV - SERVICE	
B2 FLOOR	15,900 SF

YC - YOUTH WELLNESS CENTER	
1ST FLOOR	9,100 SF

PACE - MEDICAL SERVICE SPACE	
B2 FLOOR	14,000 SF

CS - COMMUNITY SERVICES	
1ST FLOOR	6,270 SF

AL - ASSISTED LIVING	
B1 FLOOR	14,000 SF
1ST FLOOR	12,500 SF
TOTAL	26,500 SF

MC - MEMORY CARE	
1ST FLOOR	11,200 SF
2ND FLOOR	38,800 SF
TOTAL	50,000 SF

SYMBOL LEGEND	
◀	PEDESTRIAN ENTRY / EXIT
▶	VEHICULAR ENTRY / EXIT
■	VERTICAL CIRCULATION CORE



AL TOTAL FOR ALL FLOORS = 196,900 SF

TOTAL AL + MC = 246,900 SF

PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0583

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BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
FLOOR PLANS

SCALE  
AS INDICATED

DATE  
02/02/2022

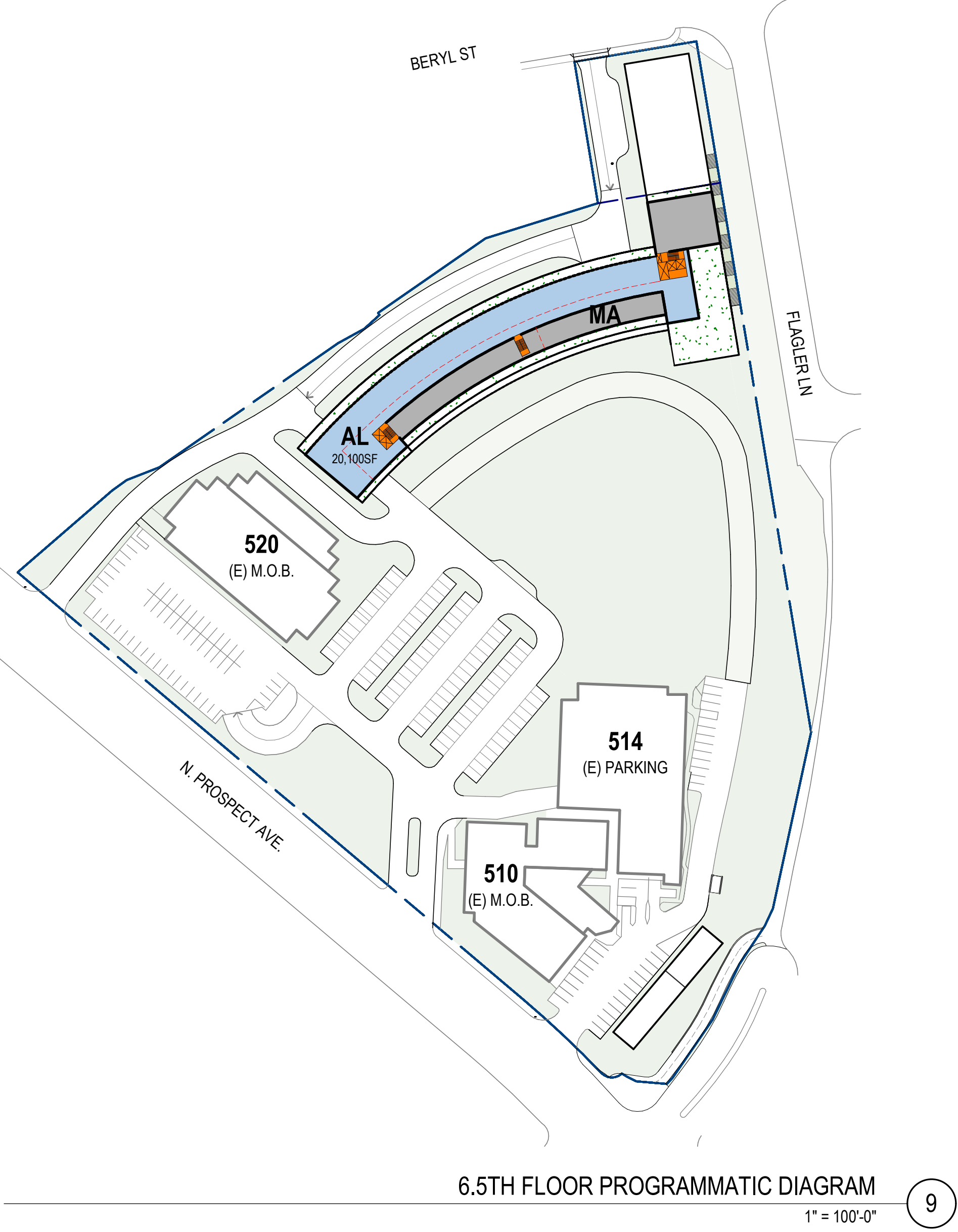
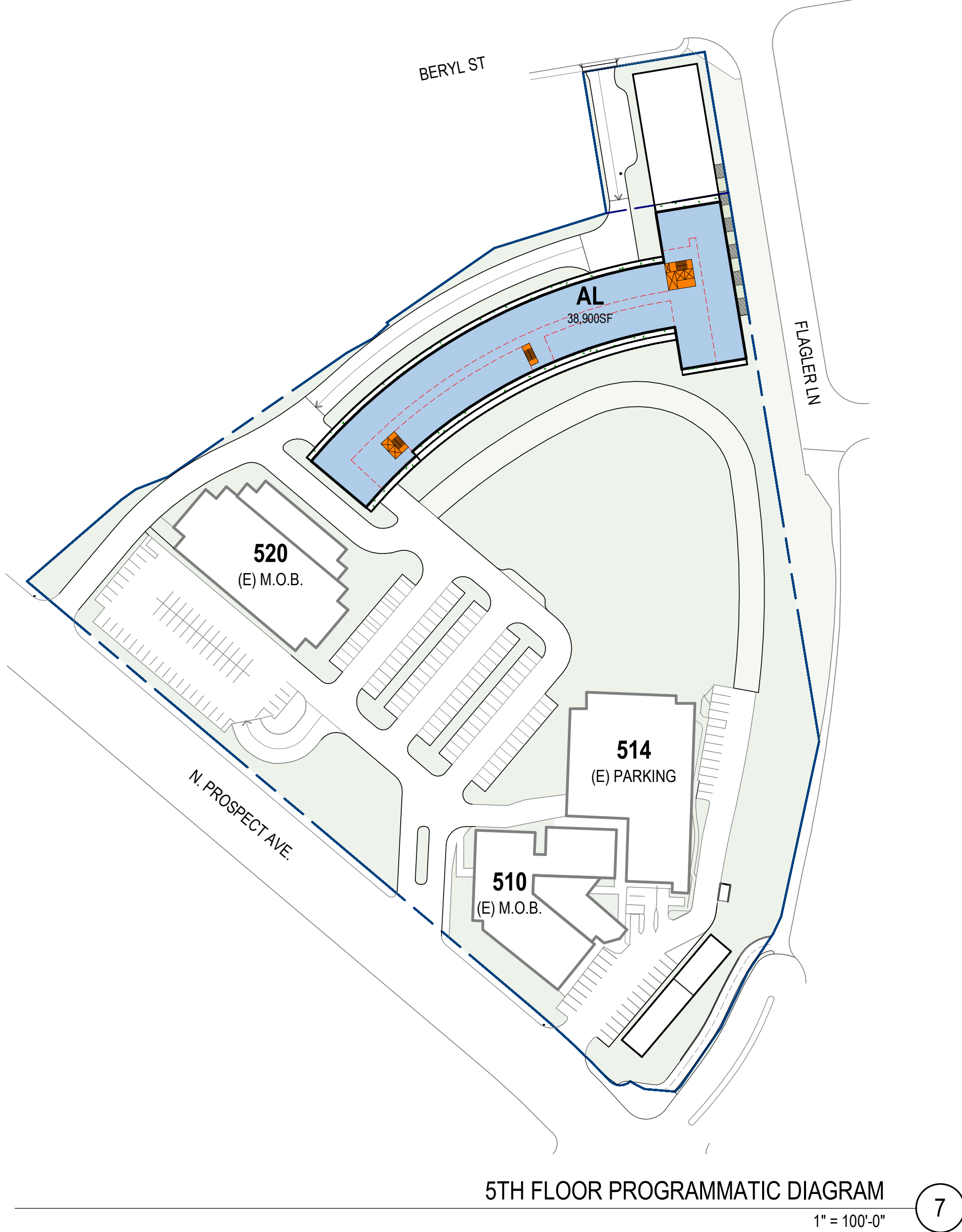
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SHEET NO.

A103





**AL - ASSISTED LIVING**

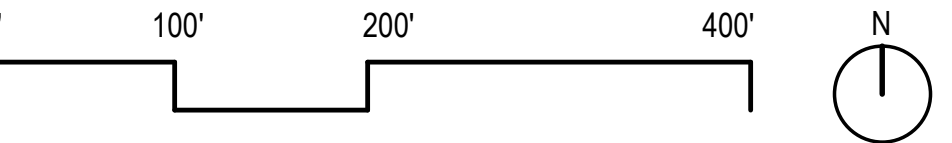
3RD FLOOR	38,900 SF
4TH FLOOR	38,900 SF
5TH FLOOR	38,900 SF
6TH FLOOR	33,600 SF
6.5TH FLOOR	20,100 SF
TOTAL	170,400 SF

AL TOTAL FOR ALL FLOORS = 196,900 SF

**MA - ROOF TOP MECHANICAL AREA**

**SYMBOL LEGEND**

- ◀ PEDESTRIAN ENTRY / EXIT
- ◀ VEHICULAR ENTRY / EXIT
- VERTICAL CIRCULATION CORE



PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0583

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DATE

REVISION

BEACH CITIES HEALTH DISTRICT  
HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
FLOOR PLANS

SCALE  
AS INDICATED

DATE  
02/02/2022

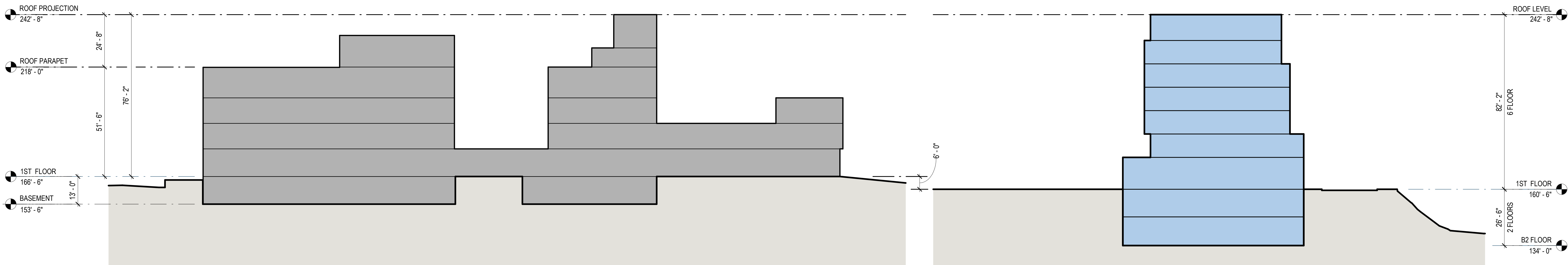
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SHEET NO.

A104



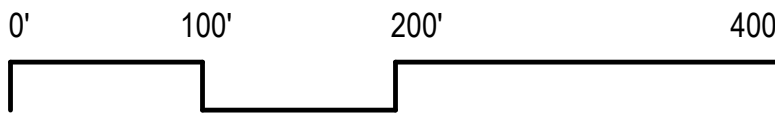


PAUL MURDOCH ARCHITECTS

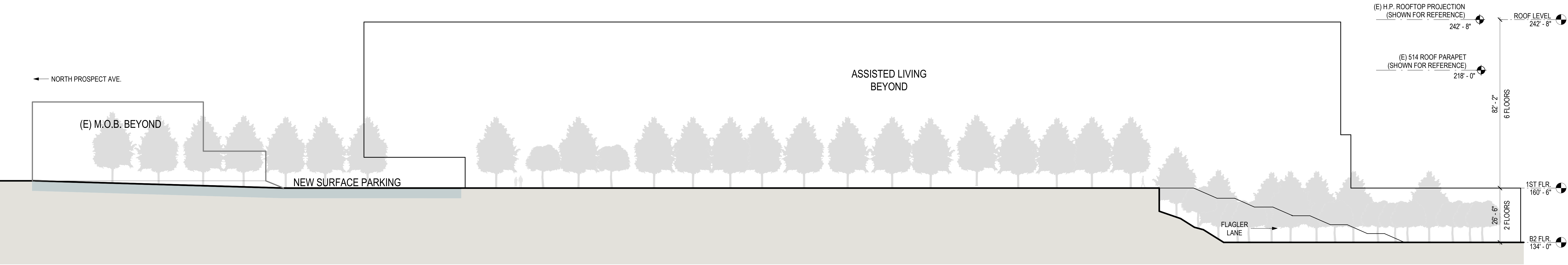
6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310 558-0985

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BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS		
514 NORTH PROSPECT AVE. REDONDO BEACH, CA 90277		
PMA PROJECT NO. 19010		
DRAWING TITLE COMPARATIVE SECTIONS		
SCALE 1" = 20'-0"		
DATE 02/02/2022		
DRAWN AO		CHECKED PM
SHEET NO. A200		



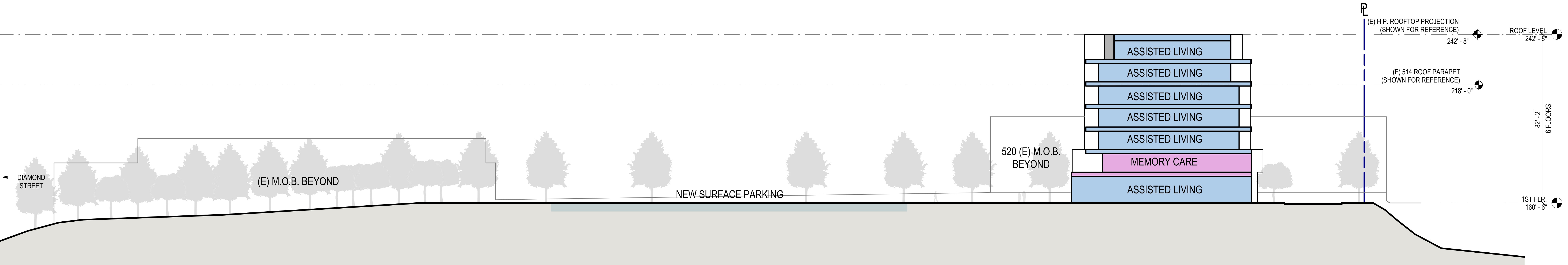




SITE SECTION -01

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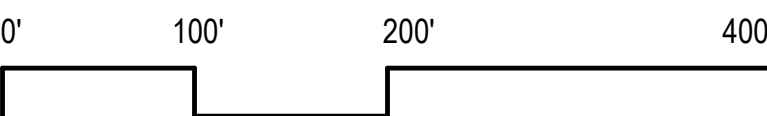
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SITE SECTION -02

1" = 20'-0"

2



PAUL MURDOCH  
ARCHITECTS

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LOS ANGELES, CALIFORNIA 90048  
310.558.0983

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BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
SITE SECTIONS

SCALE  
1" = 20'-0"

DATE  
02/02/2022

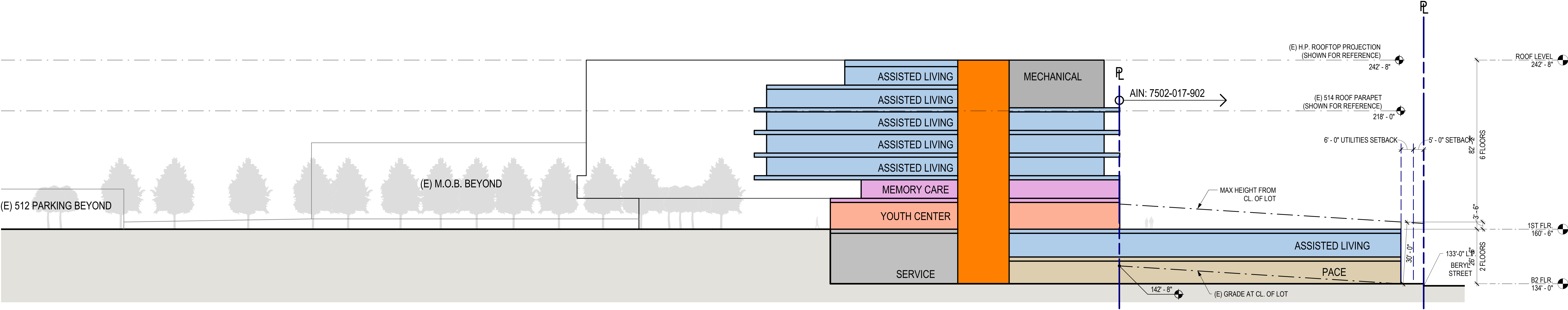
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CHECKED  
PM

SHEET NO.

A201

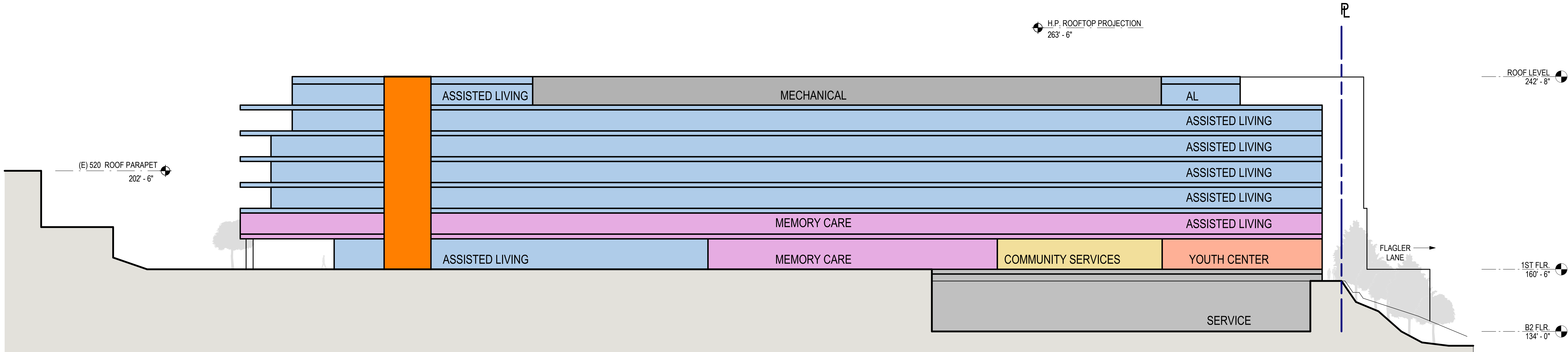




SITE SECTION -03

1" = 20'-0"

1



SITE SECTION -04

1" = 20'-0"

2

PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0583

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BEACH CITIES HEALTH DISTRICT  
HEALTHY LIVING CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
SITE SECTIONS

SCALE  
1" = 20'-0"

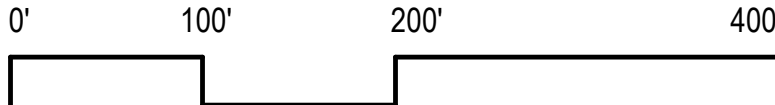
DATE  
02/02/2022

DRAWN  
AO

CHECKED  
PM

SHEET NO.

A202







PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0953

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BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.

19010

DRAWING TITLE

EXISTING  
NORTHEAST 3D  
MASSING VIEW

SCALE

DATE

02/02/2022

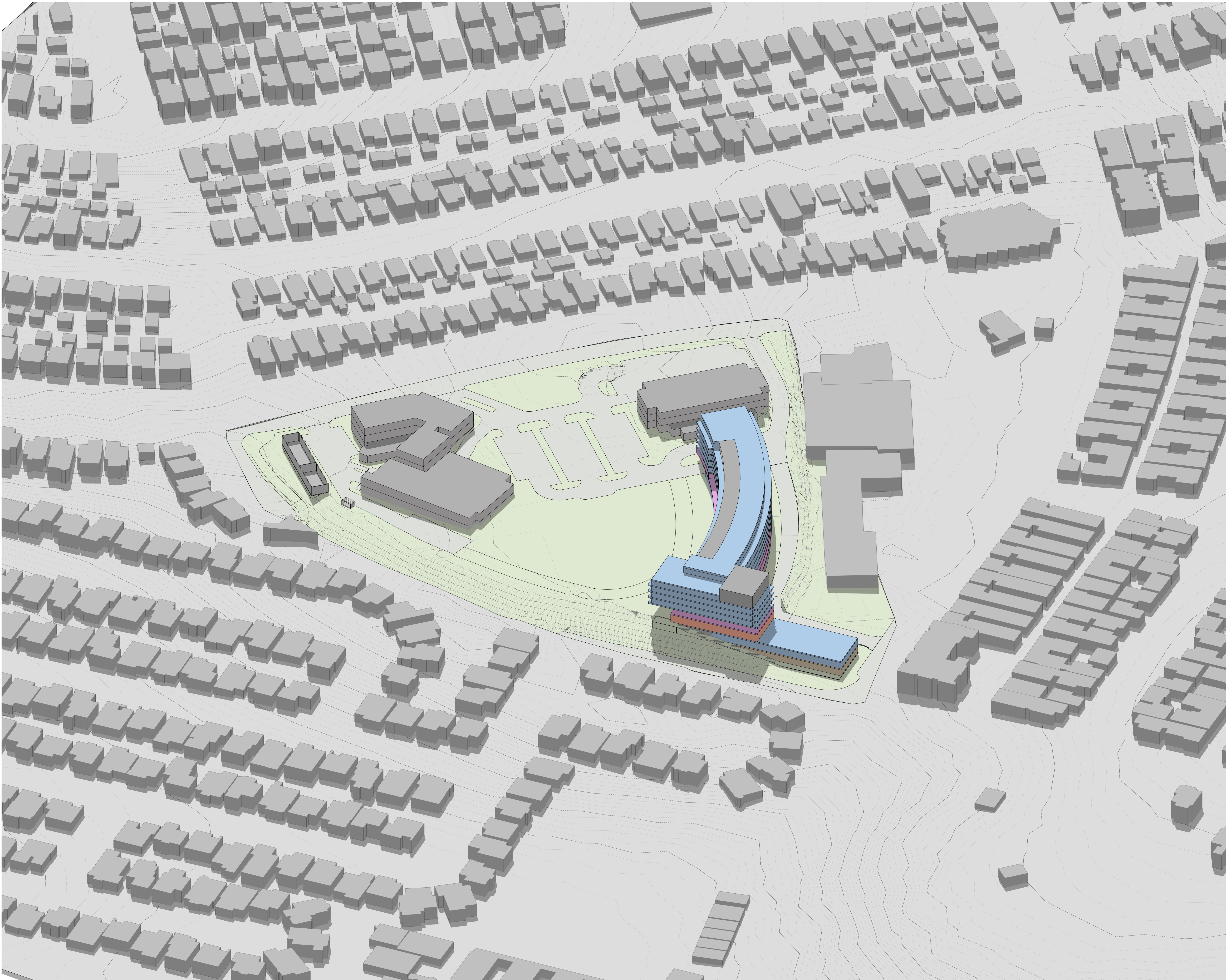
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AO PM

SHEET NO.

A300





PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0953

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514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

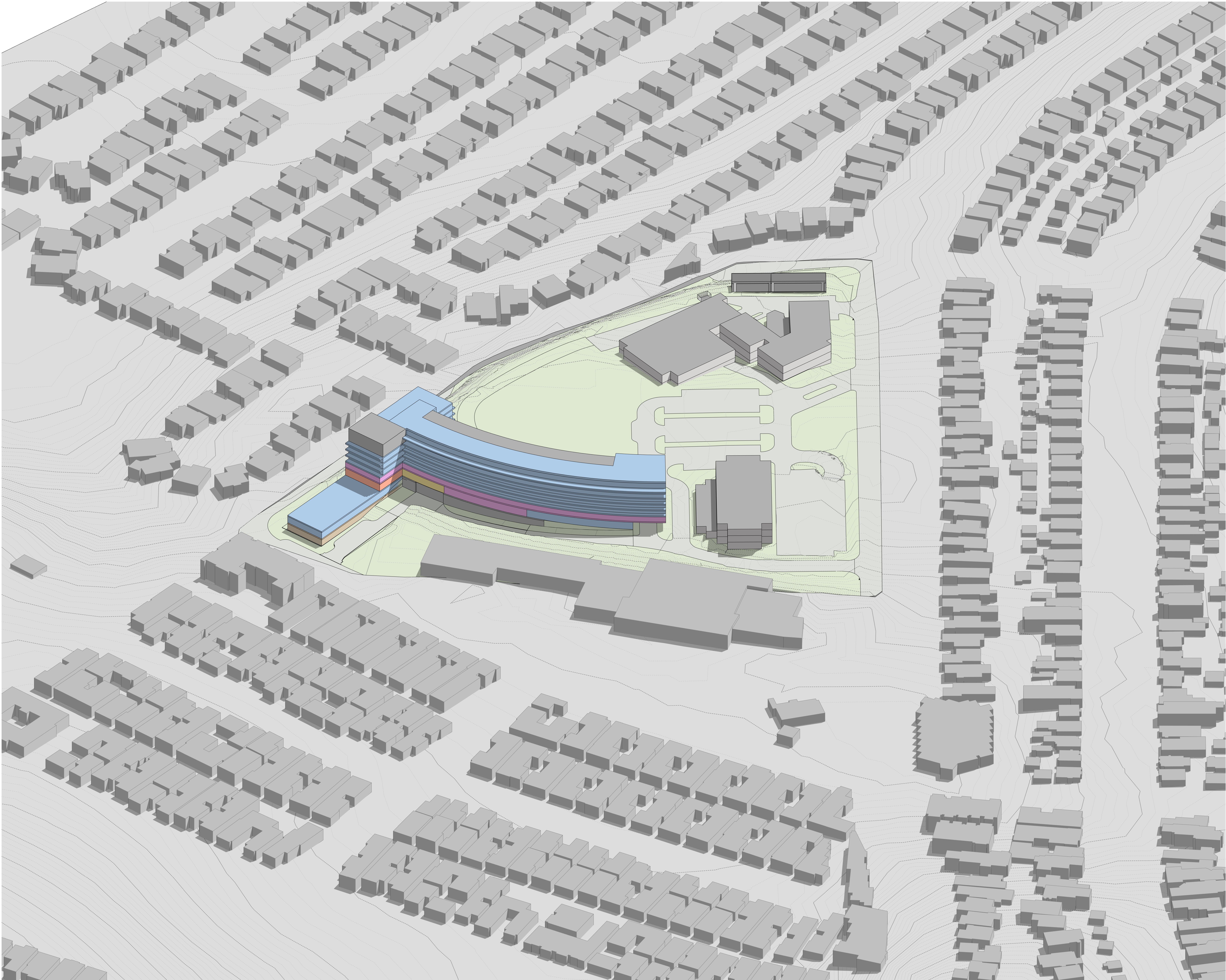
PMA PROJECT NO.  
19010

DRAWING TITLE  
NORTHEAST 3D  
MASSING VIEW

SCALE  
DATE  
02/02/2022  
DRAWN  
AO  
CHECKED  
PM  
SHEET NO.

A301





PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0953

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN, AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT HAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

NO. DATE REVISION

BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
NORTHWEST 3D  
MASSING VIEW

SCALE  
DATE  
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DRAWN  
AO  
CHECKED  
PM  
SHEET NO.

A302





PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0953

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HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

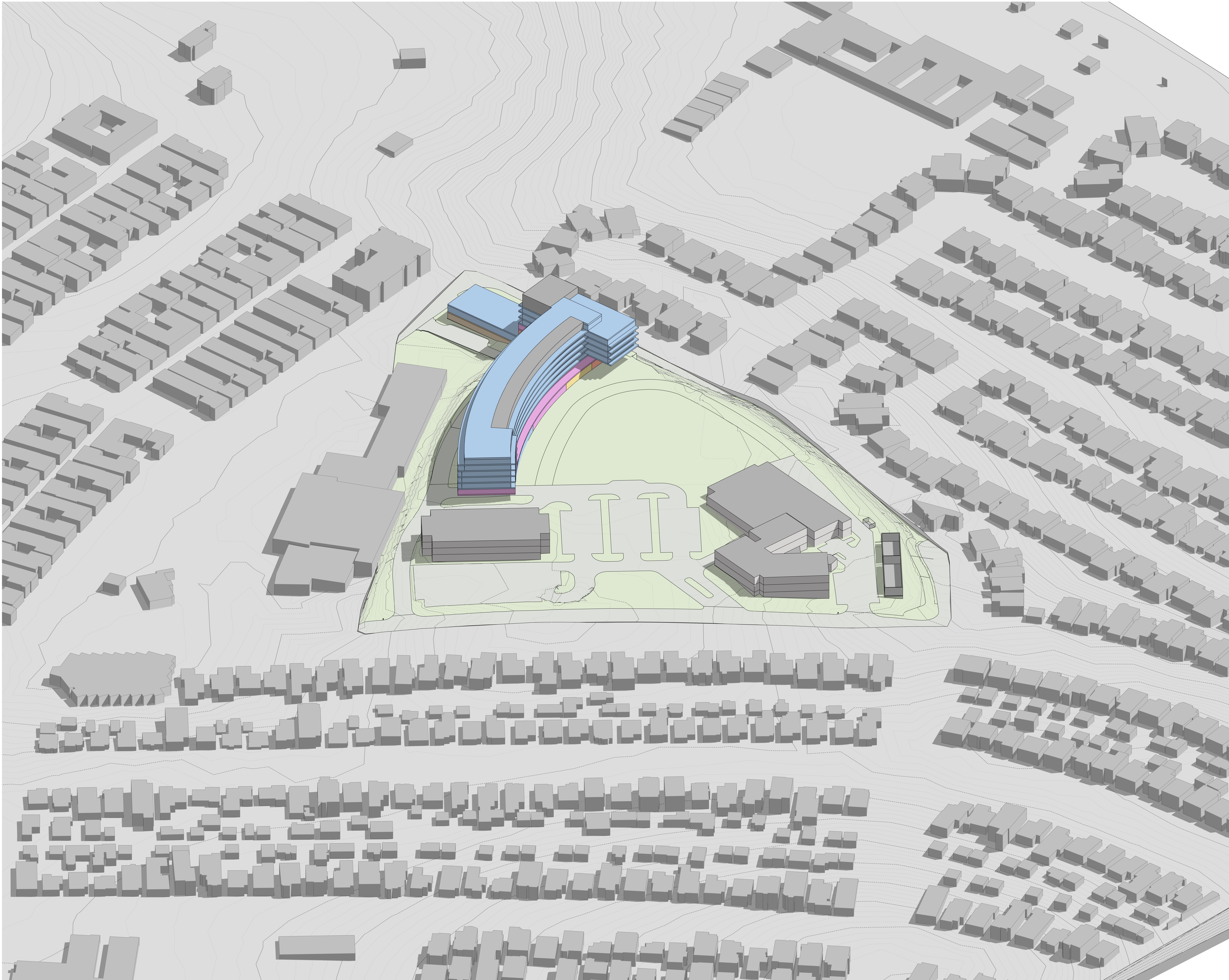
PMA PROJECT NO.  
19010

DRAWING TITLE  
SOUTHEAST 3D  
MASSING VIEW

SCALE  
DATE  
02/02/2022  
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AO  
CHECKED  
PM  
SHEET NO.

A303





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ARCHITECTS

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LOS ANGELES, CALIFORNIA 90048  
310.558.0953

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HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
SOUTHWEST 3D  
MASSING VIEW

SCALE  
DATE  
02/02/2022  
DRAWN  
AO  
CHECKED  
PM  
SHEET NO.

A304

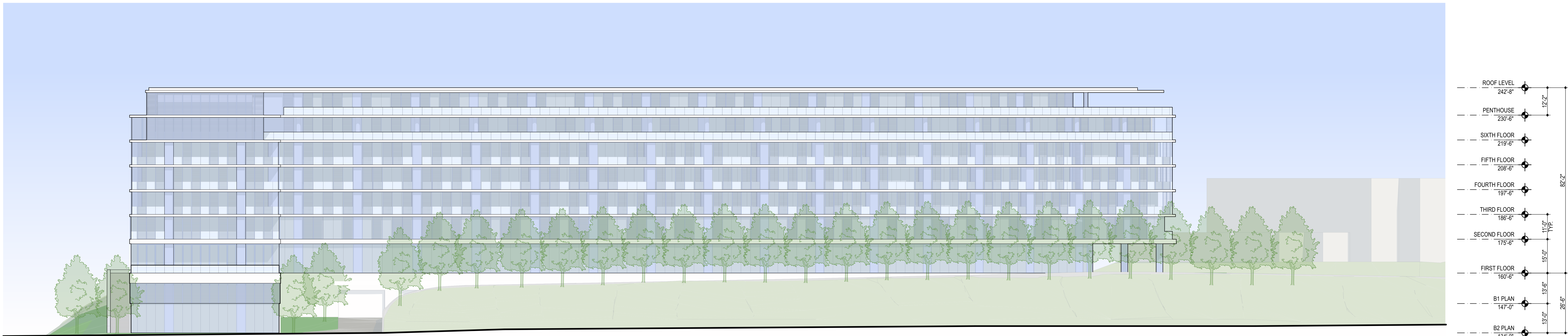




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ARCHITECTS

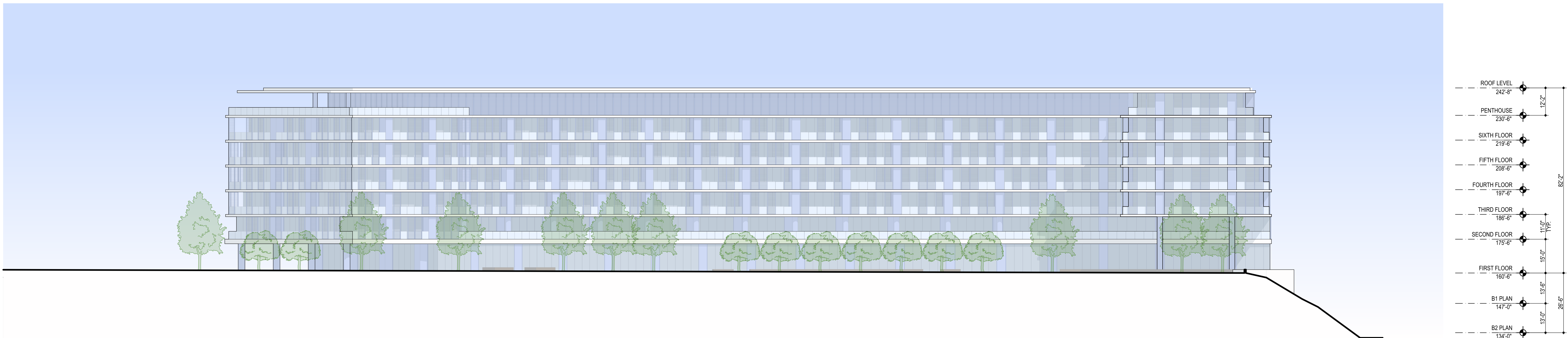
6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0983

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EXTERIOR ELEVATION - NORTHEAST  
1" = 20'-0"

1



EXTERIOR ELEVATION - SOUTHEAST  
1" = 20'-0"

2

NO. DATE REVISION

BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
ELEVATIONS

SCALE  
AS INDICATED

DATE  
02/02/2022

DRAWN  
EC

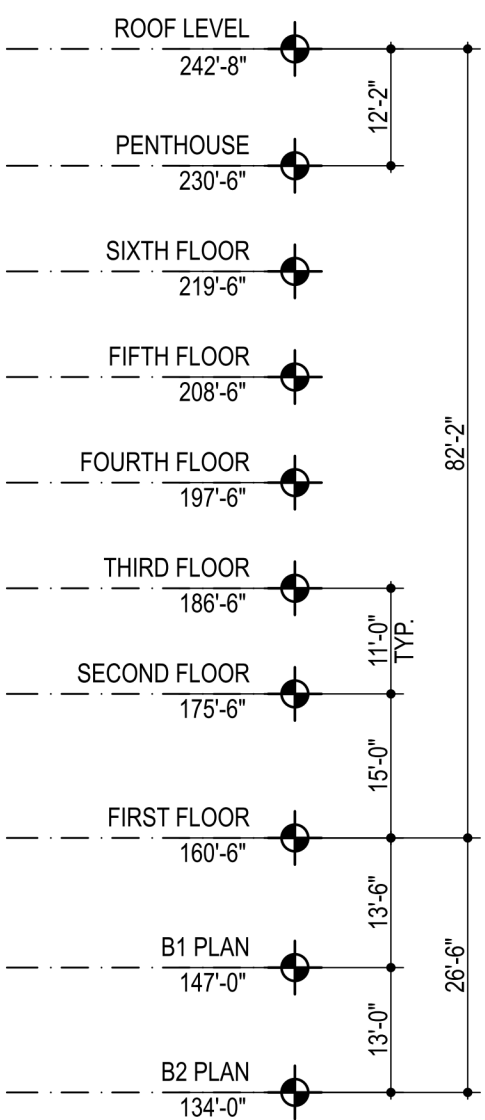
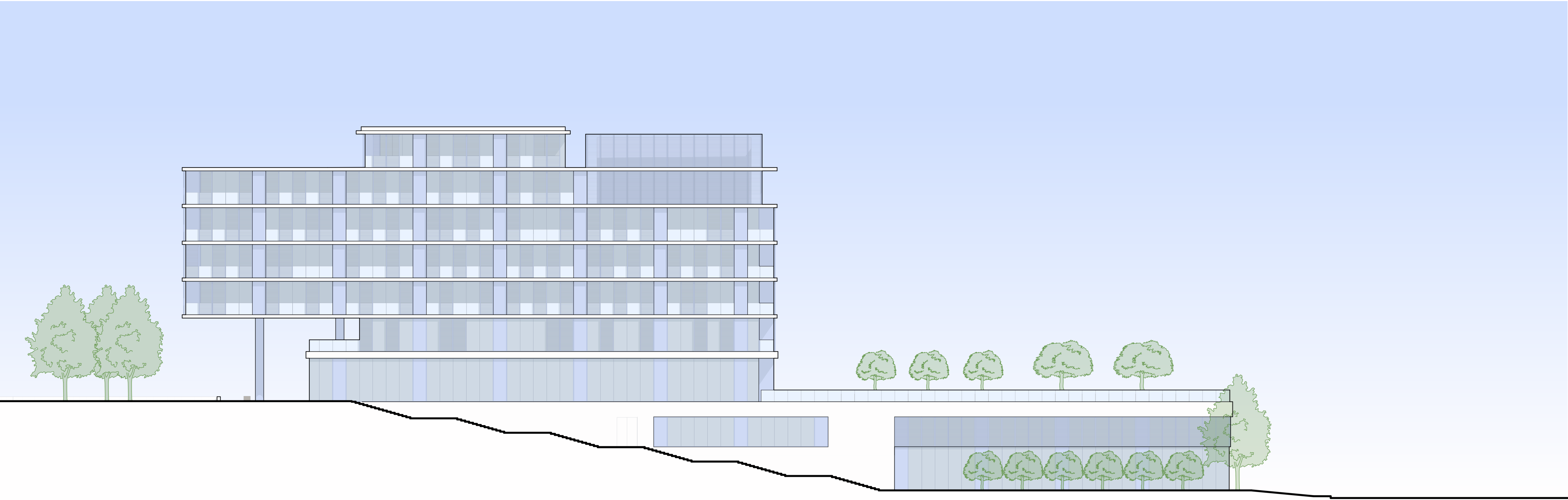
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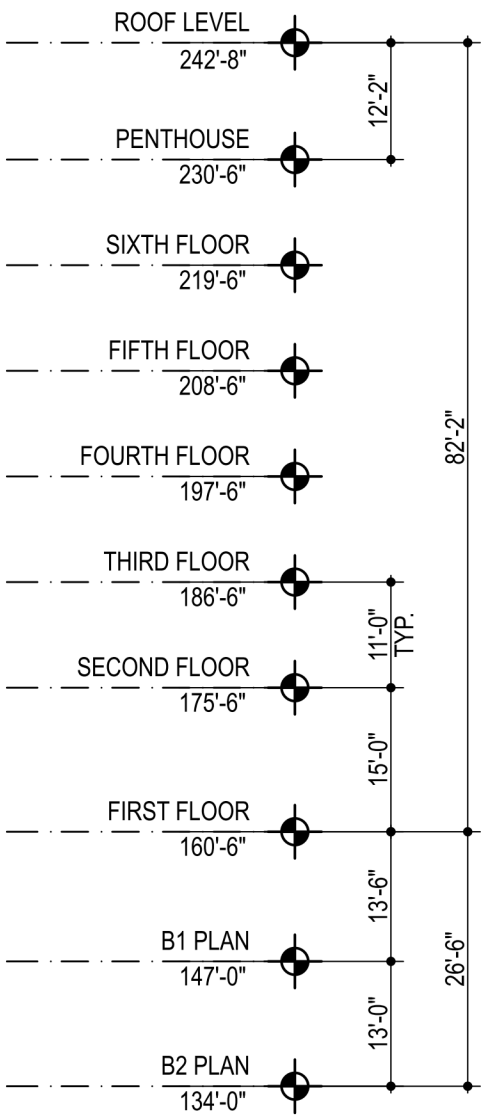
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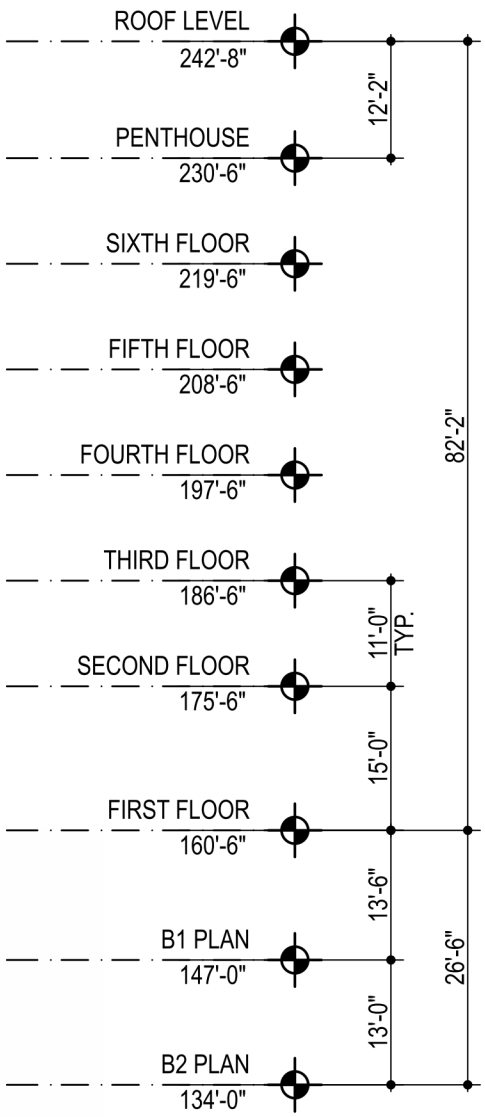
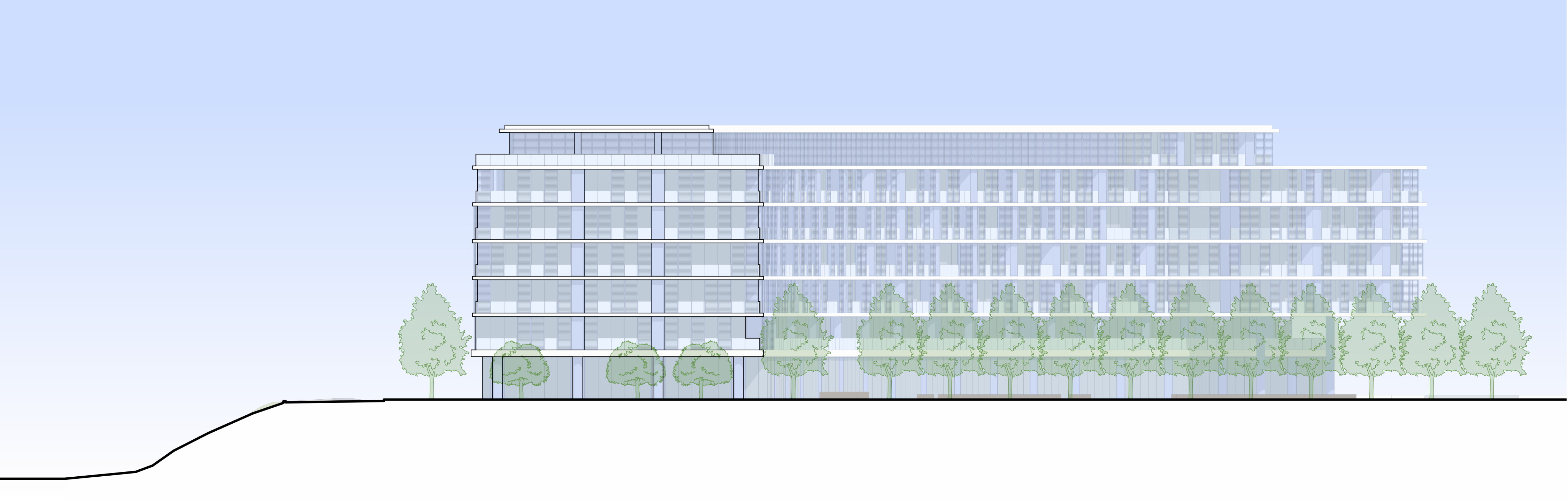




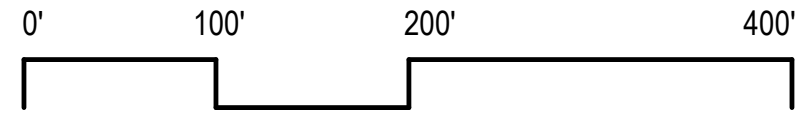
EXTERIOR ELEVATION - NORTHEAST 1  
1" = 20'-0"



EXTERIOR ELEVATION - SOUTHWEST 2  
1" = 20'-0"



WEST ELEVATION 3  
1" = 20'-0"



PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0983

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BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
ELEVATIONS

SCALE  
AS INDICATED

DATE  
02/02/2022

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EC PM

SHEET NO.

A402





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ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0985

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CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
NORTHEAST  
PERSPECTIVE VIEW

SCALE

DATE  
02/02/2022

DRAWN CHECKED  
EC PM

SHEET NO.

A501





PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0985

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BEACH CITIES  
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HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
SOUTHEAST  
PERSPECTIVE VIEW

SCALE

DATE  
02/02/2022

DRAWN CHECKED  
EC PM

SHEET NO.

A502





**GLASS GUARDRAIL**  
TEMPERED SAFETY GLASS  
COLOR: CLEAR

**SLIDING SHADE SCREENS**  
PAINTED METAL  
COLOR: SKY LIGHT BLUE

**EXPOSED STRUCTURE**  
PAINTED CONCRETE  
COLOR: WHITE

**VISION GLASS**  
DOUBLE GLAZED IGU  
COLOR: TINTED BLUE-GREEN

**CURTAINWALL SYSTEM**  
PAINTED METAL  
COLOR: SKY LIGHT BLUE

**SPANDREL GLASS**  
OPAQUE FINISH  
COLOR: SKY LIGHT BLUE

(GUARDRAIL + GLASS BEYOND)



PAUL MURDOCH  
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310.558.0953

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BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
MATERIALS +  
COLOR PALETTE

SCALE  
DATE  
02/02/2022

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EC      PM

SHEET NO.  
A601





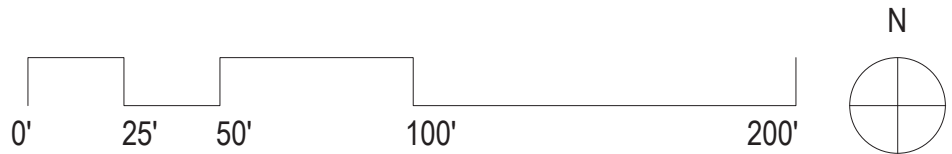
LANDSCAPE PLAN

SCALE: 1" = 50'-0"

LEGEND

- EXISTING TREE TO REMAIN
- SHADE / SCREENING TREE
- FLOWERING, ORNAMENTAL TREE
- SHRUB AND GROUNDCOVER PLANT MIX
- LAWN
- GRASS-CRETE FIRE LANE
- PEDESTRIAN WALKWAY
- SPECIALIZED PAVING

- 1 GARDEN ENTRY PLAZA**
  - Large specimen trees and shrub planting
  - Pergola, Water Feature, Directional Signage
  - Seating areas with shade for ride share waiting
- 2 MAIN STREET**
  - 26' Fire Lane
  - Tree lined promenade
  - Benches shaded by tree canopies
  - Location for Farmer's Market / Health Fair Expos
- 3 CENTRAL LAWN**
  - Natural lawn
  - Group Classes such as Yoga, Zumba, Meditation
  - Space for community events such as outdoor movies
  - Areas of trees for shade
- 4 FLEX DECK / GROUP EXERCISE PLATFORM**
  - Flexible use platform for small performances or group exercise classes
- 5 THE PORCH**
  - Casual, small scale dining spaces
  - Adirondack / Rocking Chairs
- 6 GARDEN ROOF DECK**
  - Flexible event space
  - Outdoor dining
  - Lounge areas with fire pits
- 7 WELLNESS WALK**
  - Distinct loop with distance markers and signage
  - Fitness stations, "Buddy" Benches, View areas
- 8 SENSORY GARDENS**
  - Butterfly / Habitat Garden Plantings that showcase color, texture, and smell
- 9 COMMUNITY DEMONSTRATION GARDEN**
  - Vegetable boxes and citrus trees
  - Area for demonstration classes to gather
- 10 OUTDOOR GARDEN ROOMS**
  - Shaded garden rooms for small groups, surrounded by lush planting
- 11 WALKING LABYRINTH**
- 12 BIKE PARKING**
  - 14 Short term bike parking spaces with racks
- 13 LANDSCAPE BUFFER**
  - Trees and slope stabilization planting to frame and screen views
- 14 PARKING LOT LANDSCAPE**
  - 85 Total Parking Spaces including 6 accessible spaces
  - 1 Tree per 6 Parking Spaces
- 15 UTILITY AREA**





# 514 PROSPECT AVE. CIVIL PLANS

## GENERAL

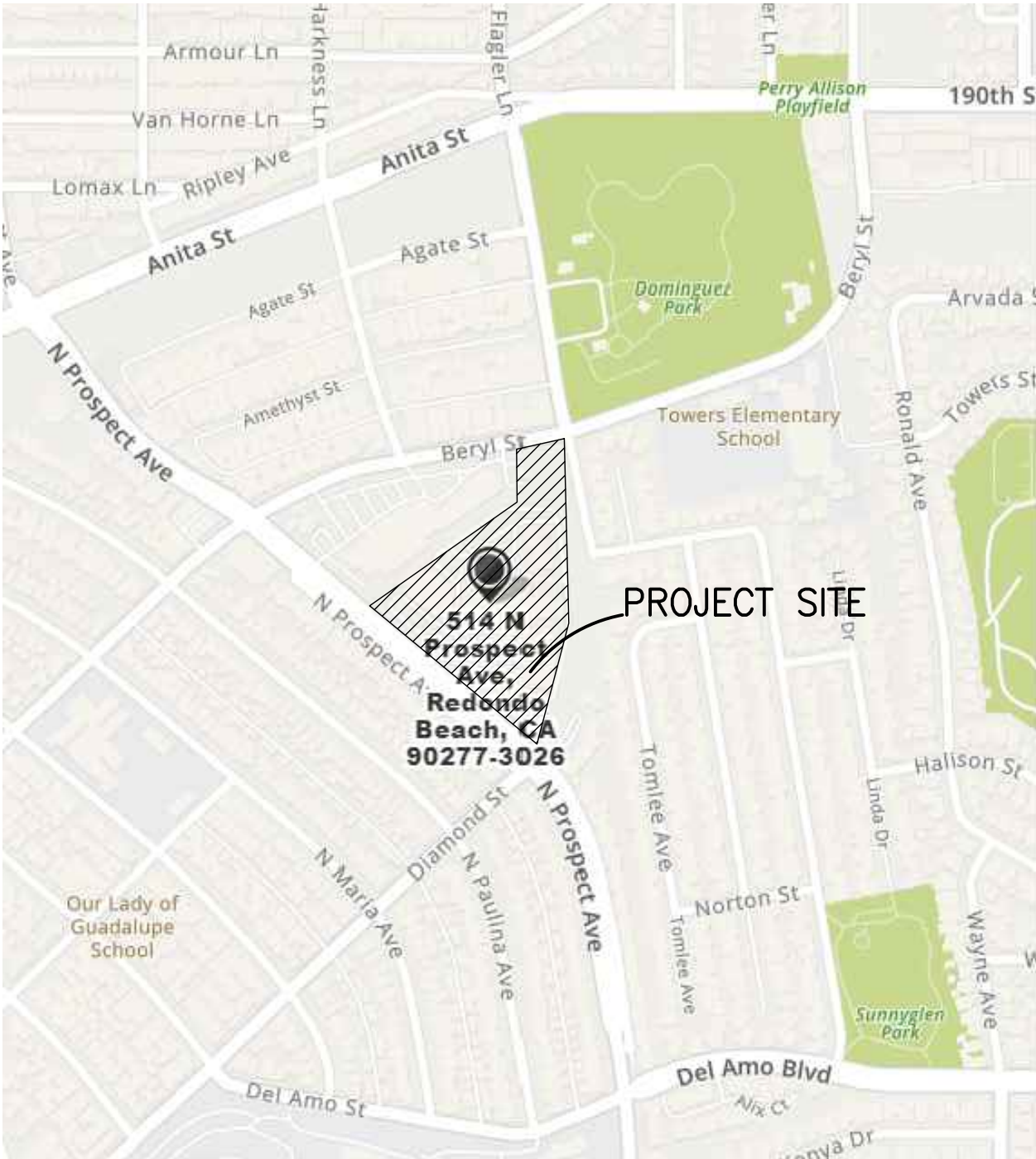
- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AND CITY OF REDONDO BEACH LOCAL ORDINANCES AS APPLICABLE.
- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL ENGINEERING INVESTIGATION, "GEOTECHNICAL STUDY REPORT PROPOSED SENIOR LIVING PROJECT 514 NORTH PROSPECT AVENUE, REDONDO BEACH, CALIFORNIA", BY CONVERSE CONSULTANTS DATED JUNE 24, 2016.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLINE PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADI ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF REDONDO BEACH FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

## CITY OF REDONDO BEACH GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE EXCAVATION AND GRADING REQUIREMENTS OF THE CITY OF REDONDO BEACH AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. ANY VIOLATION WILL RESULT IN THE STOPPING OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE GRADING INSPECTOR OR SOIL ENGINEER.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL AND 1 VERTICAL.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION AT THE FINISHED SURFACE, UNLESS SUPPORTED BY A SOIL STUDY PERFORMED BY A SOILS ENGINEER.
- FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY THE ASTM: D-1557-78, AND CERTIFIED BY THE SOIL ENGINEER.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH AN APPROVED GROUND COVER FOR EROSION CONTROL.
- PLANTED SLOPES SHALL BE WATERED AND MAINTAINED.
- FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND INSPECTED BY GRADING INSPECTOR OR SOIL ENGINEER AND APPROVED SOIL-TESTING AGENCY PRIOR TO PLACING OF FILL.
- PRIOR TO PLACING FILLS, THE BASINS LEFT BY PULLING TREES SHALL BE INSPECTED AND APPROVED BY THE GRADING INSPECTOR OR SOIL ENGINEER.
- AS FILLS ARE PLACED, SLOPE BENCHING SHALL BE PROVIDED IF NATURAL GRADE IS OVER 5 HORIZONTAL TO 1 VERTICAL. BENCHING SHALL BE A MINIMUM OF 5' WIDTH, 15' IN WIDTH AT THE TOE WITH 5' EXPOSED.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE GRADING INSPECTOR OR SOIL ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- THE EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED, OR CRUSHED IN PLACE AND BACKFILLED, AND APPROVED BY THE GRADING INSPECTOR OR SOIL ENGINEER.
- APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON AND SHALL BE IN THE PLACE AT THE END OF EACH DAY'S WORK.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATIONS PER CITY OF REDONDO REGULATIONS ON CONSTRUCTION SANITATION FACILITY.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- THE PERMITTEE SHALL NOTIFY THE ENGINEERING AND BUILDING SERVICES WHEN THE GRADING OPERATION IS READY FOR ROUGH GRADING. INSPECTOR. ALL WORK INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND PROTECTIVE DEVICES HAS BEEN COMPLETED AND REQUIRED REPORTS HAVE BEEN SUBMITTED.
- GRADING INSPECTION DURING INSTALLATION IS REQUIRED FOR ALL DRAIN DEVICES. FILL TERRACE BENCHES AND FILL SLOPES MUST BE APPROVED BY THE SOIL ENGINEER AND DESIGN ENGINEER PRIOR TO TERRACE PAVING.
- DRAINAGE PIPE THAT WILL UNDERLAY STRUCTURES MUST BE REINFORCED CONCRETE OR CAST IRON AND THE STRUCTURE FOUNDATIONS MUST BE ENGINEERED BY A FOUNDATION ENGINEER. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR DEPUTY INSPECTION DURING CONSTRUCTION OF THE PIPE AND WILL CERTIFY TO THE STABILITY AND THAT THE WORK WAS DONE TO HIS SATISFACTION.
- SUBMISSION OF PROFESSIONAL OPINION THAT THE SUBSOILS HAVE SUFFICIENT STABILITY TO HOLD THE ADDITIONAL WEIGHT OF THE PROPOSED FILLS WITHOUT SETTLEMENT THAT WILL CAUSE DAMAGE TO PROPOSED IMPROVEMENTS MUST BE SUBMITTED MUST BE SUBMITTED TO THE BUILDING OFFICIALS PRIOR TO PLACEMENT OF FILL.
- APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED FOR CONSTRUCTION DURING THE RAINY SEASON BETWEEN NOVEMBER 1ST AND APRIL 15TH AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- ALL TRENCH BACKFILLS IN SLOPES OR LEVEL AREAS OF PRIVATE PROPERTY SHALL BE TESTED AND CERTIFIED BY THE SITE SOIL-TESTING FIRM. THE SOIL CERTIFICATION SHALL INCLUDE THE STABILITY OF THE BACKFILL AND THAT THE COMPACTION IN 90% OF THE MAXIMUM DRY DENSITY USING THE ASTM: D-1557-78.
- ALL TRENCH BACKFILLS IN PUBLIC PROPERTY WHERE PRIVATE PROPERTY STRUCTURES OR SLOPES BEAR ON THEM FOR SUPPORT SHALL BE CERTIFIED BY THE SITE SOIL-TESTING FIRM.
- THE ENGINEERING GEOLOGIST SHALL MAINTAIN PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGIC HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPE IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER WILL SUBMIT DESIGN LOCATION AND CALCULATIONS TO THE BUILDING OFFICIALS PRIOR TO CONSTRUCTIONS. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- THE DESIGN ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE APPROVED PLANS.
- A GRADING PERMIT IS REQUIRED WHEN GRADING/EXCAVATION INVOLVES A CUT OR FILL DEPTH OF 3'-0" OR MORE AND/OR 200 CUBIC YARDS. SUBMIT GRADING PLANS AND SOILS REPORT TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. DUST SHALL BE CONTROLLED CONTINUOUSLY BY WATERING OR BY OTHER APPROVED MEANS IF EXCAVATION. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (USA-1-800-422-4133) PRIOR TO ANY EXCAVATION.
- A SHORING PERMIT IS REQUIRED FOR ANY VERTICAL CUT OR FILL THAT IS 5'-0" IN HEIGHT OR OVER. ENGINEERED SHORING PLANS AND CALCULATION MUST BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL. PER SECTION 3301.2 OF THE CBC, THE HOLDER OF A SHORING PERMIT SHALL NOTIFY IN WRITING ALL THE OWNERS OF ADJOINING PROPERTIES NOT LESS THAN 10 DAYS BEFORE SUCH EXCAVATION IS TO COMMENCE. AN OSHA PERMIT IS ALSO REQUIRED, A COPY OF WHICH SHALL BE SUBMITTED TO THE BUILDING DIVISION. SHORING CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT (1-800-422-4133) PRIOR TO ANY EXCAVATION.

## BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

- ALL PERSONS WORKING AT THE SITE SHOULD OBTAIN, READ AND UNDERSTAND THE BEST MANAGEMENT PRACTICES PAMPHLET FOR THE TYPE(S) OF CONSTRUCTION BEING DONE.
- STOCKPILE OF SOIL, DEMOLITION DEBRIS, CEMENT, SAND, TOP SOIL, ETC. MUST BE COVERED WITH A WATERPROOF MATERIAL OR BERMED TO PREVENT BEING WASHED OFF SITE.
- FUELS, OILS, PAINTS, SOLVENTS, AND OTHER LIQUID MATERIALS MUST BE KEPT INSIDE BERMED AREAS. SPILLS MUST NOT BE WASHED TO THE STREET.
- WASTE CONCRETE MUST NOT BE WASHED INTO STREET, STORM DRAIN CATCH BASINS, OR PUBLIC RIGHT-OF-WAY. ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST BE REMOVED USING A WET-DRY VACUUM OR EQUIVALENT.
- TRASH AND OTHER CONSTRUCTION SOLID WASTES MUST BE PLACED IN A COVERED TRASH RECEPTACLE.
- ERODED SOIL FROM DISTURBED SLOPES MUST BE CONTAINED USING BERMS, SILT FENCES, SETTING BASINS, OR GOOD EROSION MANAGEMENT PRACTICES SUCH AS RESEEDING.
- WASH WATER FROM CLEANING CONSTRUCTION VEHICLES AND EQUIPMENT MUST BE KEPT ON-SITE WITHING A CONTAINMENT AREA.



VICINITY MAP  
NOT TO SCALE

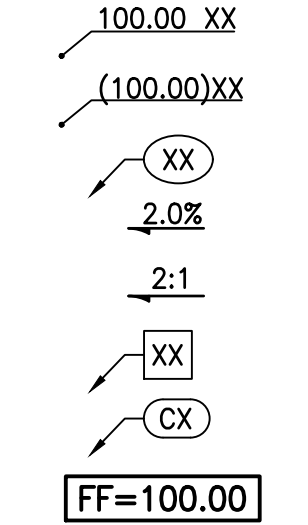
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P.M.B. 144-3  
  
APN: 7502-017-901

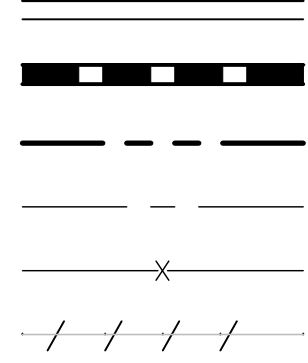
## ABBREVIATIONS

AC	ASPHALTIC CONCRETE	MIN	MINIMUM
BCR	BEGIN CURVE RETURN	MH	MANHOLE
BW	BACK OF WALK	(N)	NORTH
BLDG	BUILDING	NTS	NOT TO SCALE
BM	BENCH MARK	PA	PLANTER AREA
BS	BOTTOM OF STAIRS	POC	POINT OF CONNECTION
BMP	BEST MANAGEMENT PRACTICES	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PCC	POINT OF COMPOUND CURVE
CI	CAST IRON	PRC	POINT OF REVERSE CURVE
CL	CENTER LINE	PRV	PRESSURE REDUCING VALVE
CMU	CONCRETE MASONRY UNIT	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	R	RADIUS
CONC	PORTLAND CEMENT CONCRETE	RCIP	RECTANGULAR CAST IRON PIPE
CF	CURB FACE	RD	ROOF DRAIN
DW	DOMESTIC WATER	RW	RIGHT-OF-WAY
(E)	EAST	(N)	SOUTH
ECR	END CURVE RETURN	S=	SLOPE EQUALS
EG	EDGE OF GUTTER	SD	STORM DRAIN
EL. OR ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRIC, ELECTRICAL	SS	SANITARY SEWER
EX. OR EXIST.	EXISTING	STD	STANDARD
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE (LANDSCAPE)	TEL	TELEPHONE
FS	FINISHED SURFACE (HARDSCAPE)	TG	TOP OF GRATE
FH	FIRE HYDRANT	TOS	TOP OF STAIRS
FL	FLOW LINE	TW	TOP OF WALL
FT	FOOT OR FEET	TS	TOP OF STAIRS
FU	FIXTURE UNITS	TYP	TYPICAL
FW	FIRE WATER	TV	TELEVISION
GPM	GALLONS PER MINUTE	VIF	VERIFY IN FIELD
GV	GATE VALVE	VLT	VAULT
HDPE	HIGH DENSITY POLYETHYLENE	VCP	VITRIFIED CLAY PIPE
HP	HIGH POINT	(W)	WEST
INV.	INVERT	W	WATER
LP	LOW POINT	WM	WATER METER
MAX	MAXIMUM	WV	WATER VALVE

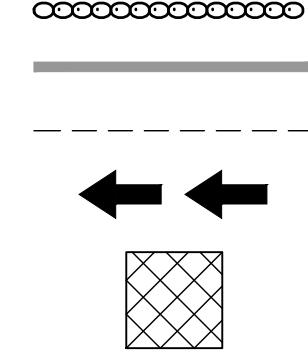
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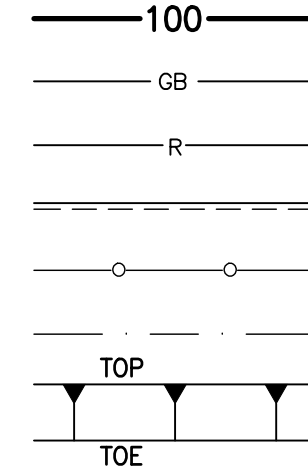
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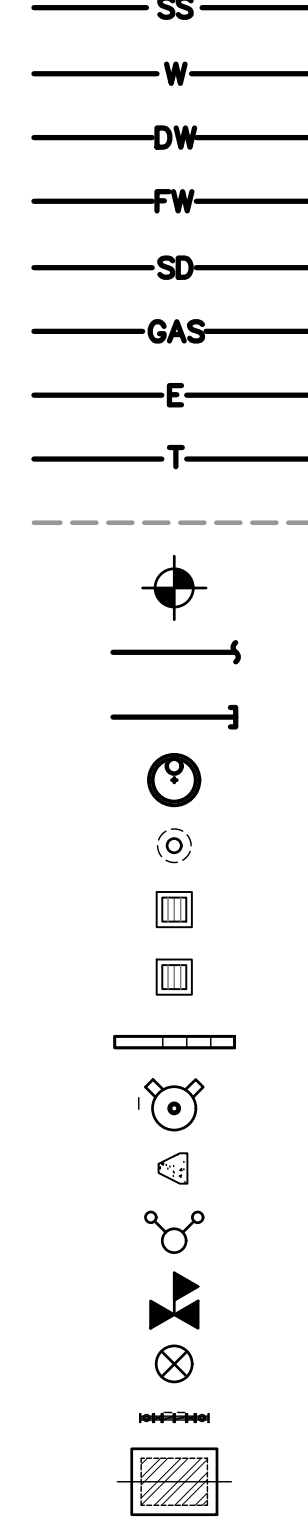
## EROSION CONTROL



## GRADING



## UTILITY



## SHEET INDEX

C000	TITLE SHEET
C100	EROSION CONTROL PLAN
C210	GRADING PLAN
C300	LOW IMPACT DEVELOPMENT/DRAINAGE PLAN
C400	UTILITY PLAN
C500	FIRE ACCESS PLAN

## PROJECT DIRECTORY

**CIVIL ENGINEER:**  
JOHN LABIB + ASSOCIATES  
FRANK LAROCCA  
319 MAIN STREET  
EL SEGUNDO, CA 90045  
TEL: 213.239.9700

**ARCHITECT:**  
PAUL MURDOCH ARCHITECTS  
PAUL MURDOCH  
6310 SAN VICENTE BLVD  
LOS ANGELES, CA 90048  
TEL: 310.358.0993

**GEOTECHNICAL ENGINEER:**  
CONVERSE CONSULTANTS  
SIVA SVATHASAN  
717 SOUTH MYRTLE AVE  
MONROVIA, CA 91016  
TEL: 626.930.1200



PAUL MURDOCH  
ARCHITECTS

8820 Wilshire Blvd, Suite 330  
Beverly Hills, California 90211  
310 358-0993 F.310 358-9106

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319 Main Street  
El Segundo, CA 90245  
Tel: 213.239.9700

JLA Job No. 19725



NO. DATE REVISION

BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE  
TITLE SHEET

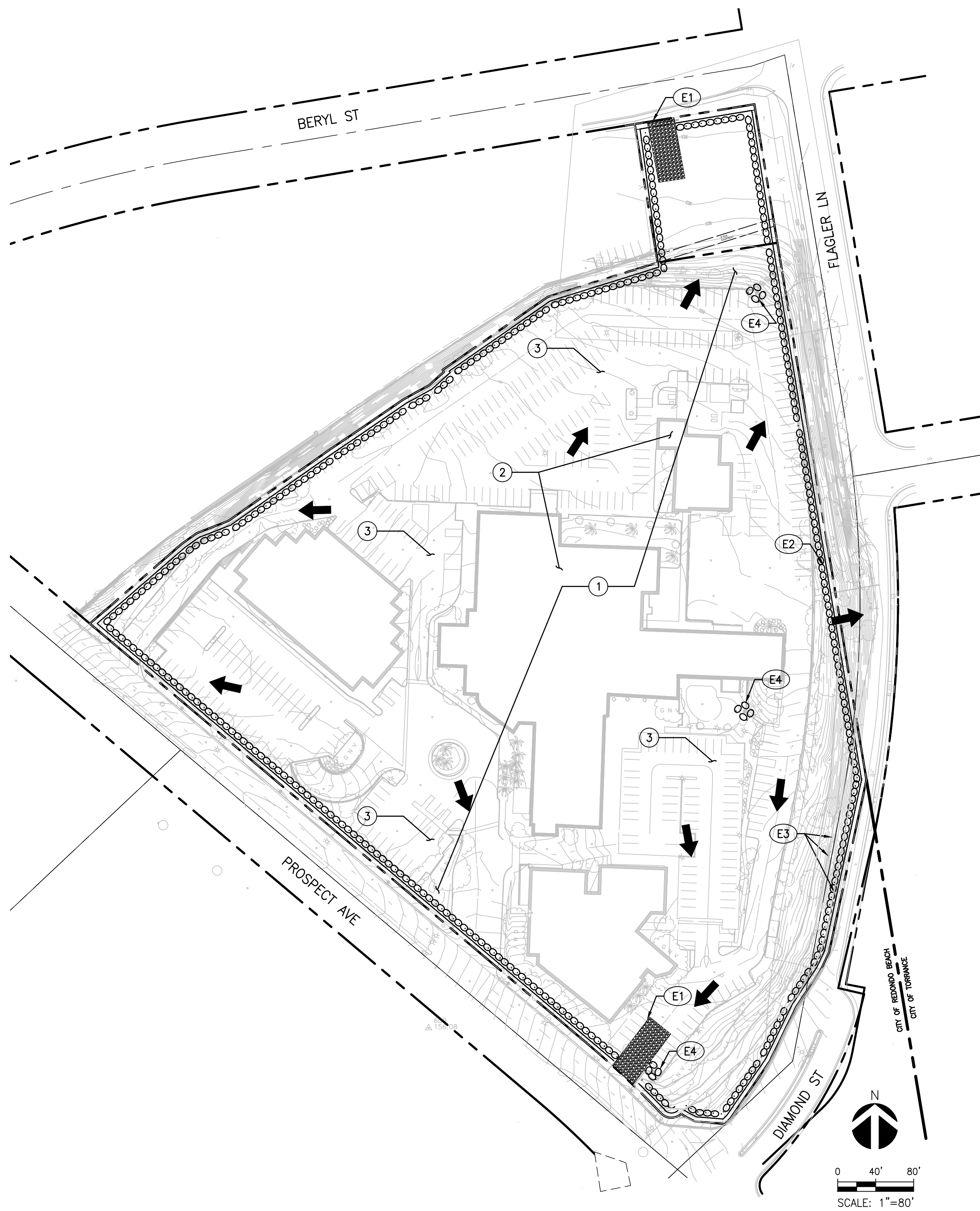
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Author  
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Checker  
SHEET NO.

C000

1-800-227-2600  
CALL USA/SC FOR  
UNDERGROUND LOCATING  
48 HOURS BEFORE YOU  
DIG!

**IMPORTANT NOTICE**  
SECTION 4216/4217 OF THE GOVERNMENT CODE  
REQUIRES A DIGALERT IDENTIFICATION NUMBER  
BE ISSUED BEFORE A "PERMIT TO EXCAVATE"  
WILL BE VALID. FOR YOUR DIGALERT I.D.  
NUMBER CALL UNDERGROUND SERVICE ALERT  
TOLL FREE 1-800-227-2600 TWO WORKING  
DAYS BEFORE YOU DIG.





#### LEGEND

- LIMIT LINE OF EROSION CONTROL
- - - - - PROPERTY LINE
- GRAVEL BAGS
- ▬ FIBER ROLL
- ←← DIRECTION OF FLOW

#### DEMOLITION NOTES

##### REMOVE & DEMOLISH

- SEE GENERAL DEMOLITION NOTES HEREON.
- DEMO AND REMOVE ITEM (AS NEEDED FOR CONSTRUCTION) AS NOTED.
- DEMO EXISTING ASPHALT PAVING.

#### EROSION CONTROL NOTES

- POSSIBLE STABILIZED CONSTRUCTION ENTRANCE LOCATIONS PER DETAIL 1, HEREON. CONTRACTOR TO LOCATE AS NECESSARY FOR CONSTRUCTION ACTIVITIES.
- PLACE SANDBAGS TRIPLE ROW PER DETAIL 2, HEREON.
- PLACE FIBER ROLL PER DETAIL 3, HEREON.
- PLACE INLET PROTECTION PER DETAIL 4, HEREON.

#### BMP NOTES

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JULY 2012, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS):

##### EROSION CONTROL

- EC1-SCHEDULING
- EC2-PRESERVATION OF EXISTING VEGETATION
- EC3-HYDRAULIC MULCH
- EC4-HYDROSEEDING
- EC5-SOIL BINDERS
- EC6-STRAW MULCH
- EC7-GEOTEXTILES AND MATS
- EC8-WOOD MULCHING
- EC9-EARTH DIKES AND DRAINAGE SWALES
- EC10-VELOCITY DISSIPATION DEVICES
- EC11-SLOPE DRAINS
- EC12-STREAMBANK STABILIZATION
- EC13-RESERVED
- EC14-COMPOST BLANKET
- EC15-SOIL PREPARATION/ROUGHENING
- EC16-NON-VEGETATIVE STABILIZATION

##### TEMPORARY SEDIMENT CONTROL

- SE1-SILT FENCE
- SE2-SEDIMENT BASIN
- SE3-SEDIMENT TRAP
- SE4-CHECK DAM
- SE5-FIBER ROLLS
- SE6-GRAVEL BAG BERM
- SE7-STREET SWEEPING AND VACUUMING
- SE8-SANDBAG BARRIER
- SE9-STRAW BALE BARRIER
- SE10-STORM DRAIN INLET PROTECTION
- SE11-ACTIVE TREATMENT SYSTEMS
- SE12-MANUFACTURED LINEAR SEDIMENT CONTROLS
- SE13-COMPOST SOCKS AND BERMS
- SE14-BIOFILTER BAGS

##### EQUIPMENT TRACKING CONTROL

- TC1-STABILIZED CONSTRUCTION ENTRANCE/EXIT
- TC2-STABILIZED CONSTRUCTION ROADWAY
- TC3-ENTRANCE/OUTLET TIRE WASH

##### WIND EROSION CONTROL

- WE1-WIND EROSION CONTROL

##### NON-STORMWATER MANAGEMENT

- NS1-WATER CONSERVATION PRACTICES
- NS2-DEWATERING OPERATIONS
- NS3-PAVING AND GRINDING OPERATIONS
- NS4-TEMPORARY STREAM CROSSING
- NS5-CLEAR WATER DIVERSION
- NS6-ILLEGAL CONNECTION/DISCHARGE
- NS7-POTABLE WATER/IRRIGATION
- NS8-VEHICLE AND EQUIPMENT CLEANING
- NS9-VEHICLE AND EQUIPMENT FUELING
- NS10-VEHICLE AND EQUIPMENT MAINTENANCE
- NS11-PILE DRIVING OPERATIONS
- NS12-CONCRETE CURING
- NS13-CONCRETE FINISHING
- NS14-MATERIAL OVER WATER
- NS15-DEMOLITION ADJACENT TO WATER
- NS16-TEMPORARY BATCH PLANTS

##### WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL

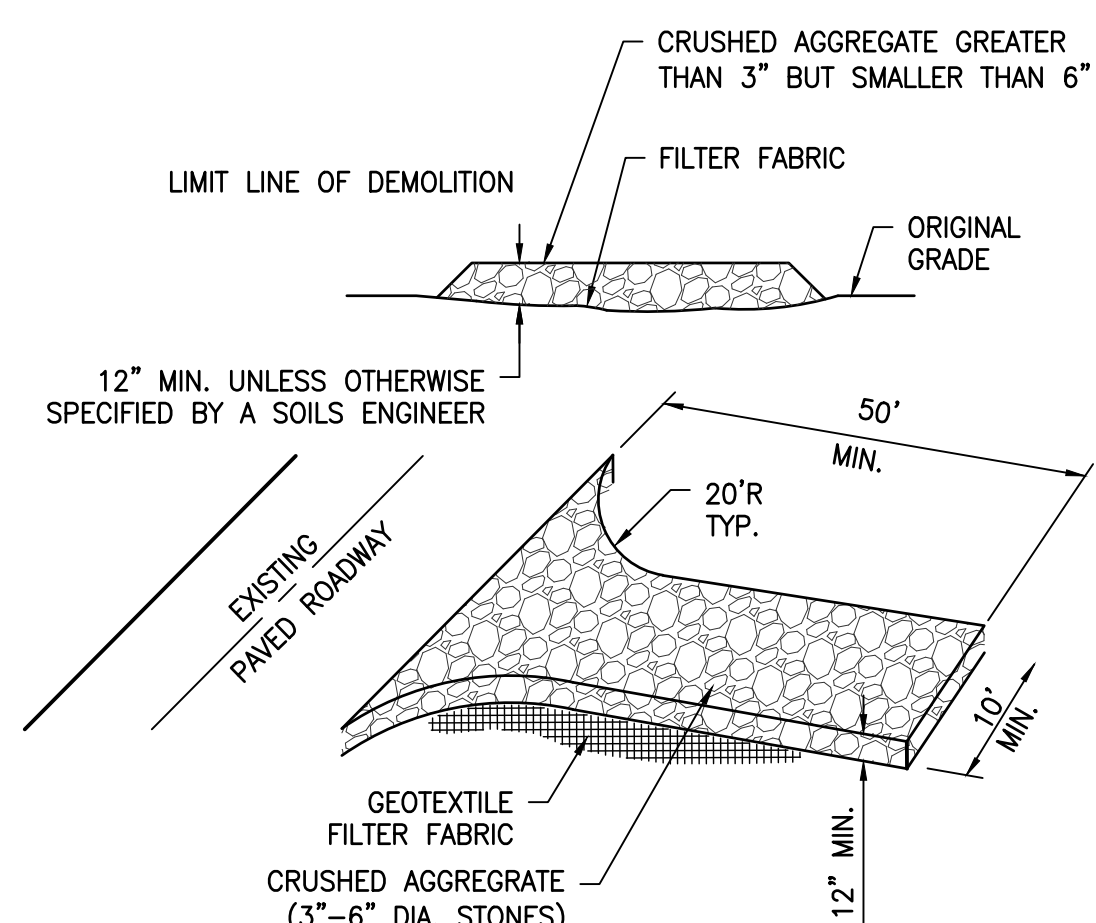
- WM1-MATERIAL DELIVERY AND STORAGE
- WM2-MATERIAL USE
- WM3-STOCKPILE MANAGEMENT
- WM4-SPILL PREVENTION AND CONTROL
- WM5-SOLID WASTE MANAGEMENT
- WM6-HAZARDOUS WASTE MANAGEMENT
- WM7-CONTAMINATED SOIL MANAGEMENT
- WM8-CONCRETE WASTE MANAGEMENT
- WM9-SANITARY/SEPTIC WASTE MANAGEMENT
- WM10-LIQUID WASTE MANAGEMENT

#### GENERAL DEMOLITION NOTES

- CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
- DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND QUANTITY OF EXISTING SURFACE STRUCTURES AND SHALL BE SOLELY RESPONSIBLE FOR ANY UNIDENTIFIED UTILITIES, IMPROVEMENTS, TREES, ETC. TO BE DEMOLISHED AND REMOVED WITHIN THE DEMOLITION LIMIT LINE, INCLUDING APPURTENANT FOUNDATIONS OR SUPPORTS.
- DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.

#### EROSION CONTROL NOTES

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR
- WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- STORM AND SEWER DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS.
- EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15).
- SANDBAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.
- A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS: NAME: \_\_\_\_\_ (TO BE FILLED IN BY CONTRACTOR) PHONE NUMBER: \_\_\_\_\_



#### NOTES:

- THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
- IF A WASH RACK IS INCLUDED, A SEDIMENT TRAP OF SOME KIND MUST ALSO BE PROVIDED TO COLLECT WASH WATER RUNOFF.
- ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE.

#### STREET MAINTENANCE NOTES

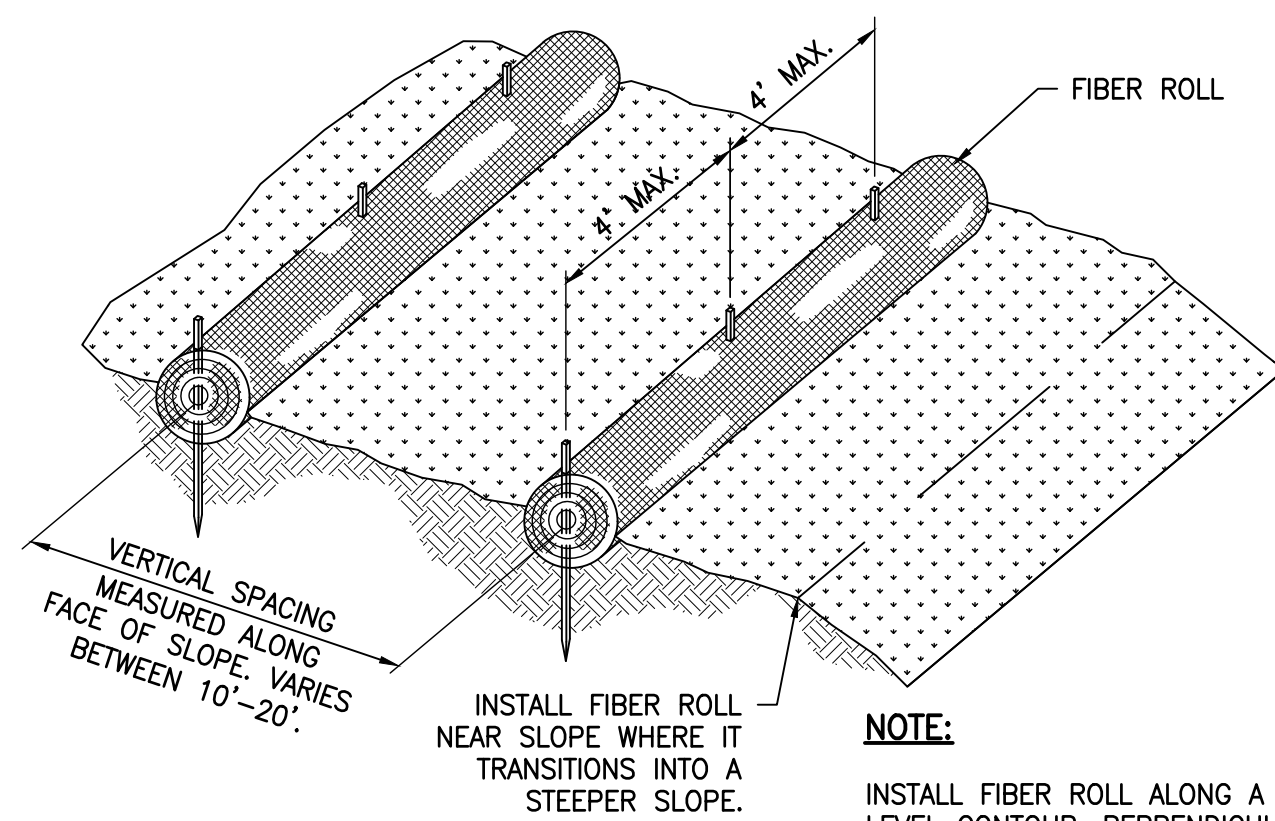
- REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
- SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

**1 ER1-STABILIZED CONSTRUCTION ENTRANCE**  
C100 N.T.S.

#### NOTES:

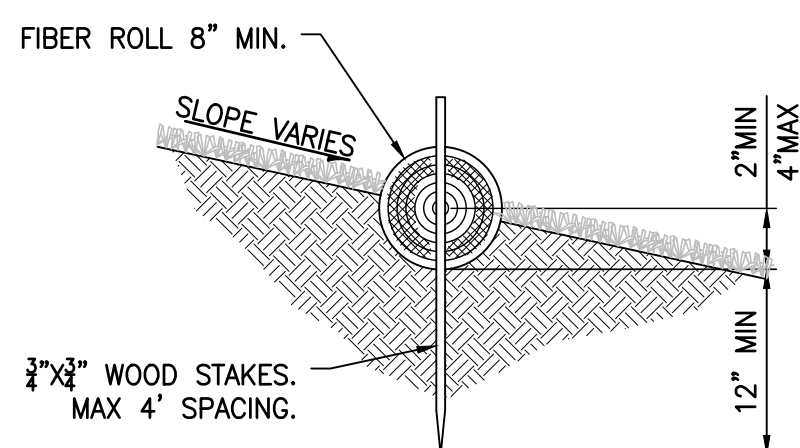
- BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD<sup>2</sup>, MULLEN BURST STRENGTH EXCEEDING 300 LB/IN<sup>2</sup> IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.
- BAG SIZE: EACH GRAVEL-FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
- FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN-GRADED, NON-COHESIVE, POROUS GRAVEL.
- TURN THE ENDS OF GRAVEL BAG BARRIER UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND BARRIER.
- USE PYRAMID APPROACH WHEN STACKING BAGS.

**2 ER2-GRAVEL BAG BARRIER**  
C100 N.T.S.



#### TYPICAL FIBER ROLL INSTALLATION DETAIL

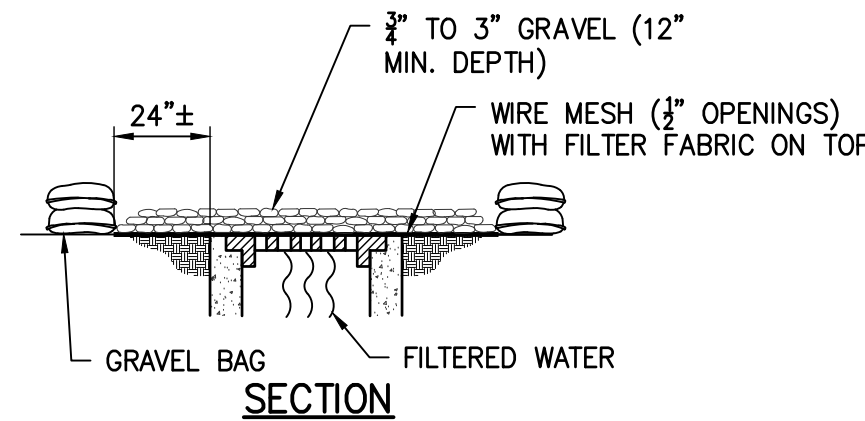
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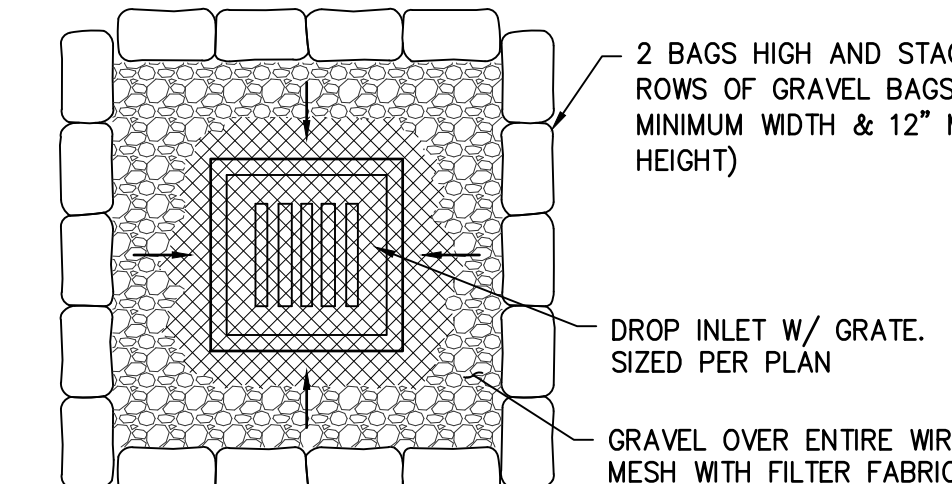
#### ENTRENCHMENT DETAIL

N.T.S.

**3 ER3-FIBER ROLL**  
C100 N.T.S.



#### SECTION



#### PLAN

#### NOTES:

- PLACE WIRE MESH OVER AND 1' (MINIMUM) BEYOND THE INLET STRUCTURE. (MESH OPENINGS NOT TO EXCEED 2" x 2" WIRE)
- PLACE FILTER FABRIC OVER WIRE MESH.
- PLACE 2" TO 3" GRAVEL OVER THE WIRE MESH WITH FILTER FABRIC (12" MINIMUM DEPTH OVER THE ENTIRE INLET OPENING).
- BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD<sup>2</sup>, MULLEN BURST STRENGTH EXCEEDING 300 LB/IN<sup>2</sup> IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.
- BAG SIZE: EACH GRAVEL-FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
- FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN-GRADED, NON-COHESIVE, POROUS GRAVEL.
- USE PYRAMID APPROACH WHEN STACKING BAGS.
- LEAVE GAP OF ONE BAG ON TOP ROW TO SERVE AS SPILLWAY.

**3 ER3-FIBER ROLL**  
C100 N.T.S.

PAUL MURDOCH  
ARCHITECTS

8820 Wilshire Blvd, Suite 330  
Beverly Hills, California 90211  
310 358-0993 F.310 358-9196

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**LFA**  
Lalib Funk & Associates  
Structural / Civil Engineers  
Burnett & Young  
Structural / Civil Engineers

319 Main Street  
El Segundo, CA 90245  
Tel: 213.239.9700

JLA Job No. 19725

REGISTERED PROFESSIONAL ENGINEER  
No. C75121  
Exp. 12/31/2021  
CIVIL  
STATE OF CALIFORNIA  
SIGN DATE 01/28/2022

NO. DATE REVISION

**BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS**

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE

**EROSION  
CONTROL PLAN**

SCALE

AS NOTED

DATE

01/06/20

DRAWN

Author

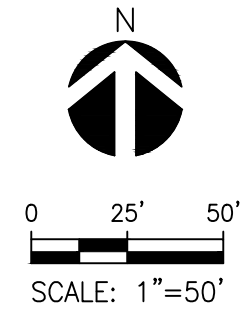
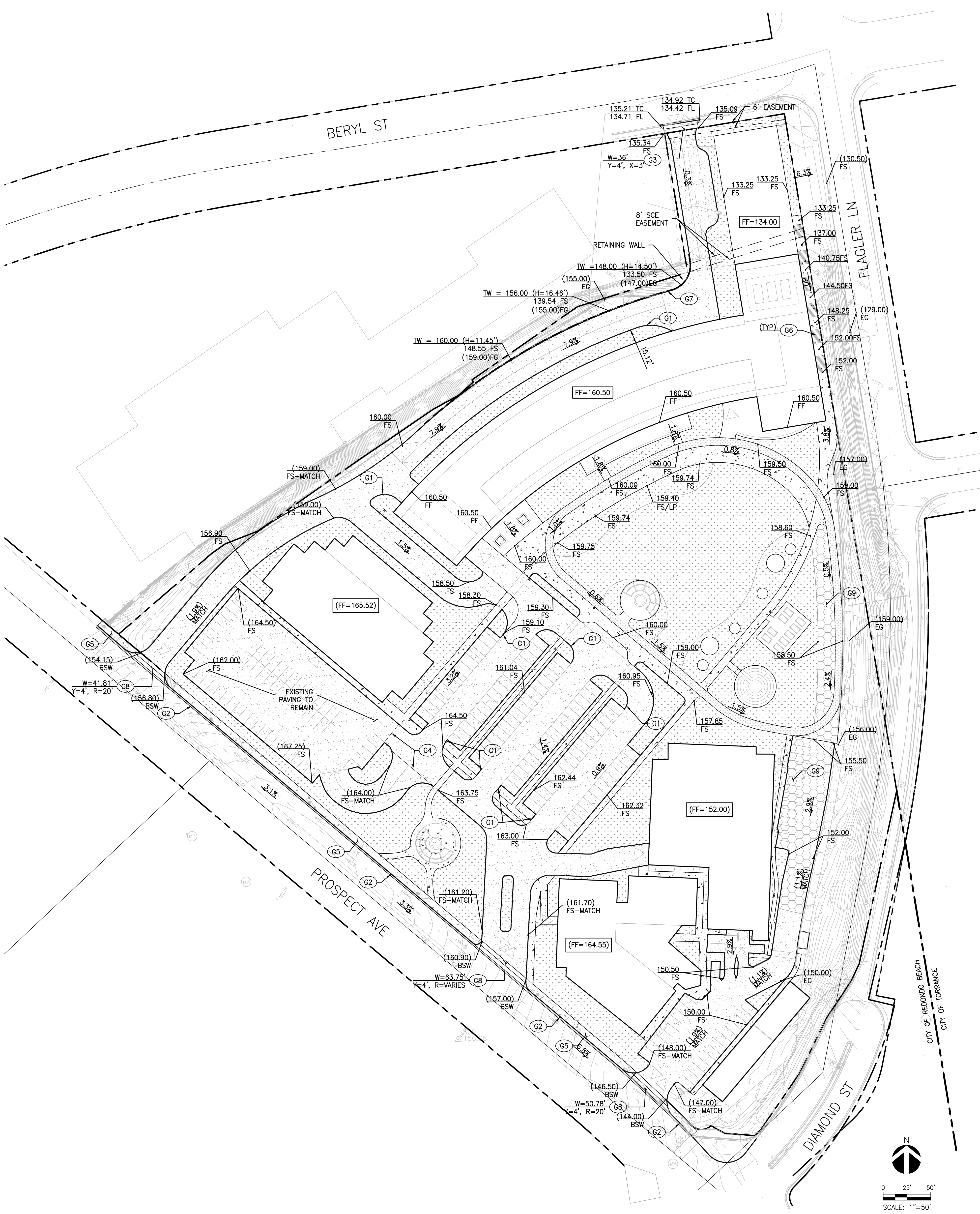
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SHEET NO.

**C100**





LEGEND

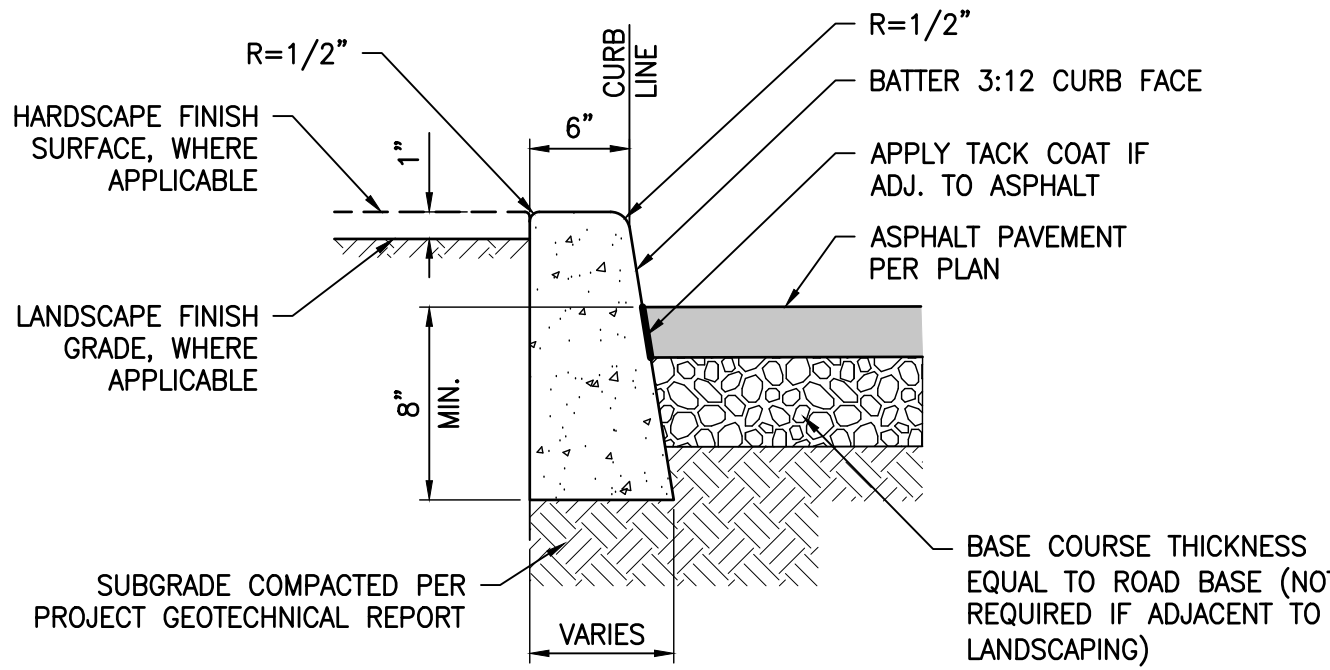
- LANDSCAPE BY OTHERS.
- CONCRETE PAVING.
- ASPHALT PAVING. DEPTH OF ASPHALT AND BASE TO MATCH EXISTING.
- COMPACTED DG PER LANDSCAPE PLANS.
- GRASSCRETTE.

CONSTRUCTION NOTES

- G1 INSTALL 6" CONCRETE CURB PER DETAIL 1, HEREON.
- G2 INSTALL CURB AND GUTTER PER APWA STD PLAN 120-1.
- G3 INSTALL DRIVEWAY APRON PER APWA STD PLAN 110-2, TYPE B.
- G4 SAWCUT TO LIMIT AS SHOWN.
- G5 INSTALL SIDEWALK PAVING PER DETAIL 3, HEREON.
- G6 STAIRS ON GRADE PER DETAIL 5, HEREON.
- G7 INSTALL RETAINING WALL BY OTHERS.
- G8 INSTALL DRIVEWAY APRON PER APWA STD PLAN 110-2, TYPE C.

NOTES:

- ALL PAVING AND PAVERS SHALL BE INSTALLED PER RECOMMENDATIONS STATED IN THE PROJECT GEOTECHNICAL REPORT.

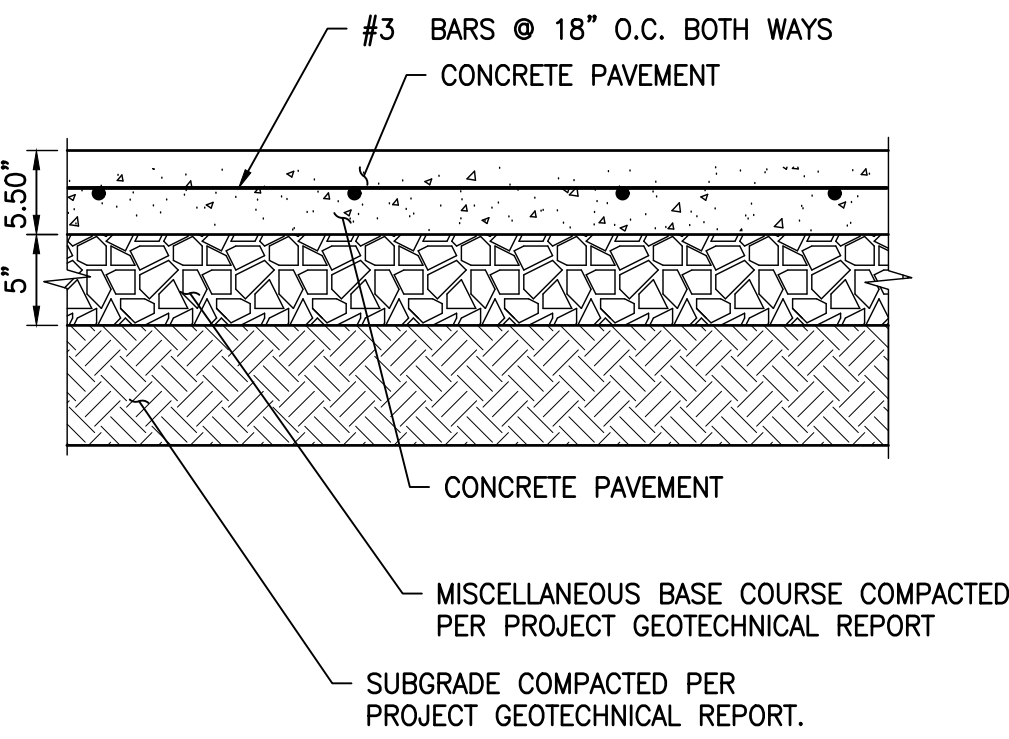


NOTES:

- ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
- CONTROL JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 10' INTERVALS O.C.
- WHERE A WALK IS ADJACENT TO THE CURB, THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.

1 CONCRETE CURB DETAIL

C210 N.T.S.

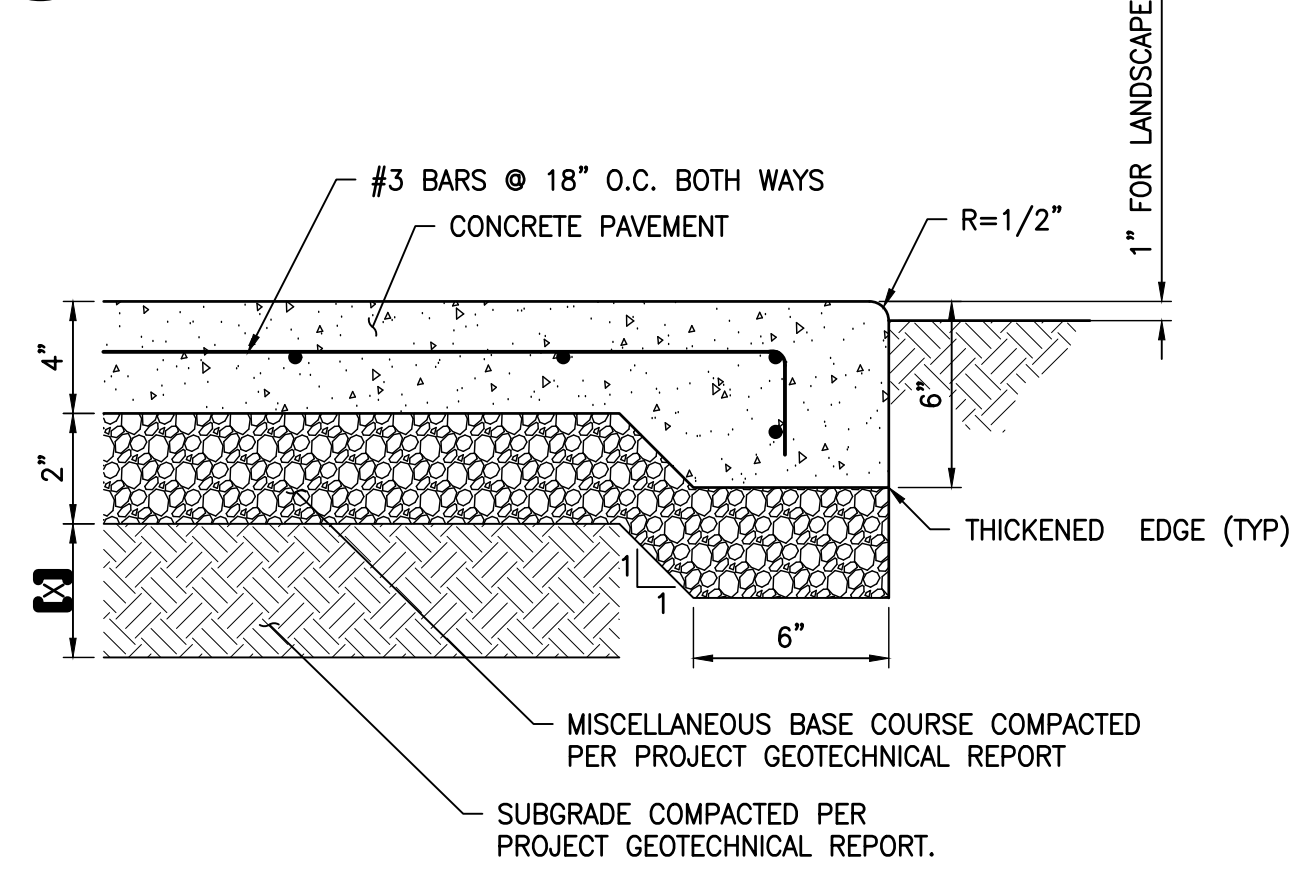


NOTES:

- ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
- REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
- SEE PLAN FOR LOCATION OF CONTROL JOINTS.
- CONCRETE STRENGTH f'c = 3500 PSI MIN.

2 VEHICULAR CONCRETE DETAIL

C210 N.T.S.



NOTES:

- ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
- REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
- SEE PLAN FOR LOCATION OF CONTROL JOINTS.

3 CONCRETE WALK SECTION

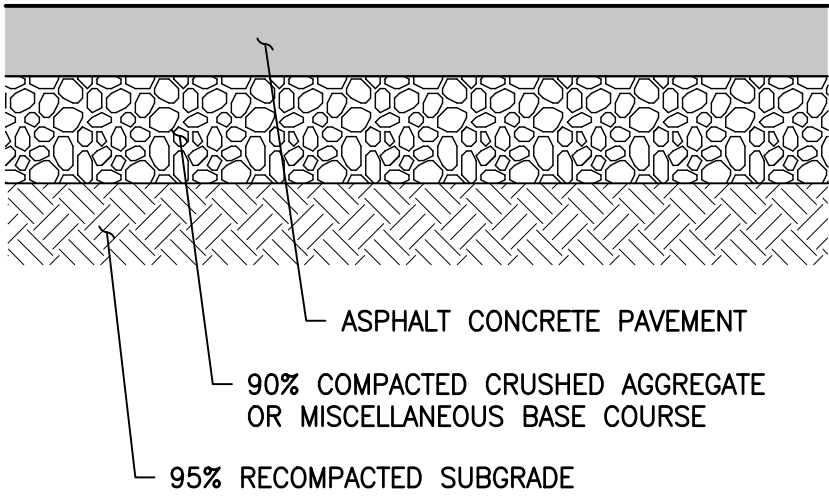
C210 N.T.S.

ESTIMATED EARTHWORK QUANTITIES

REMOVAL AND RECOMPACTION:	0 CUBIC YARDS
CUT:	7,810 CUBIC YARDS
FILL:	16,760 CUBIC YARDS
(FROM EXISTING HOSPITAL BASEMENT)	
NET (FILL/IMPORT):	8,950 CUBIC YARDS

EARTHWORK CALCULATION NOTES:

- ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, AND CONSTRUCTION MEANS AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, REPLACEMENT.
- REMEDIAL GRADING INCLUDES OVEREXCAVATION OF 3" VERTICAL AND 5" HORIZONTAL EXCAVATIONS BELOW ANY PROPOSED FOUNDATION.



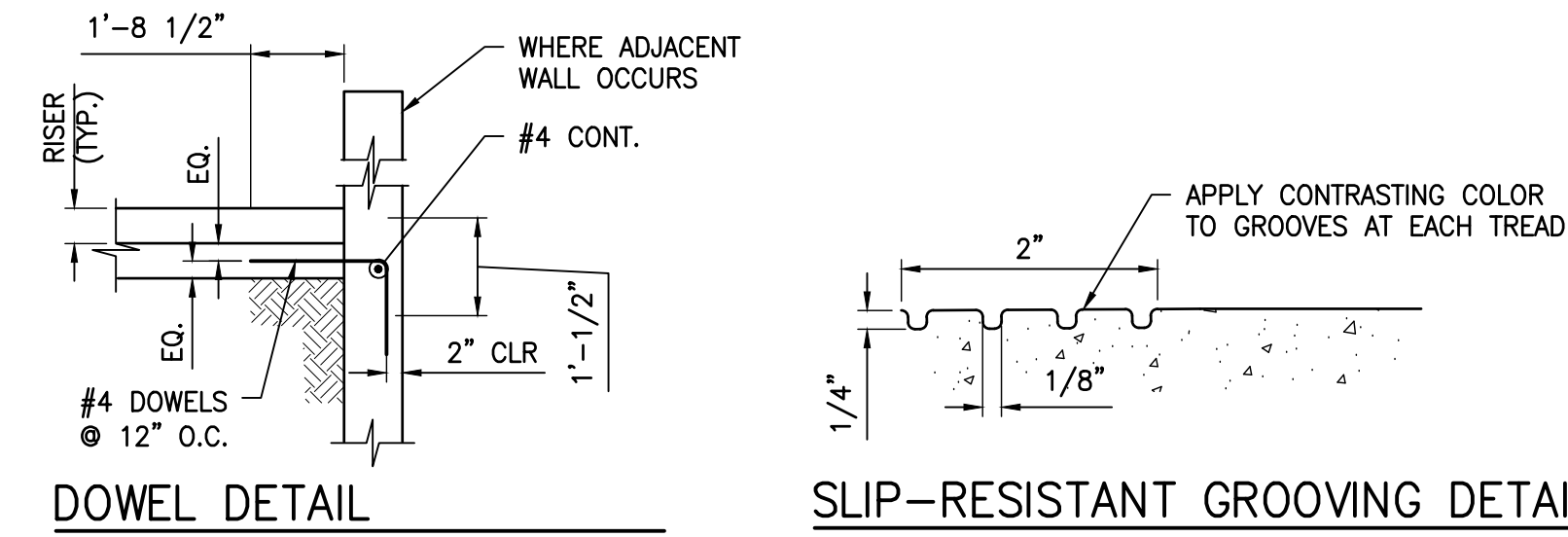
A.C. PAVEMENT TYPE	ASPHALT CONCRETE (INCHES)	BASE COURSE (INCHES)
VEHICULAR PARKING	2.5"	3.5"
HEAVY TRUCK TRAFFIC	6"	5.5"

NOTE:

- PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT.
- SUBGRADE PREPARATION SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT

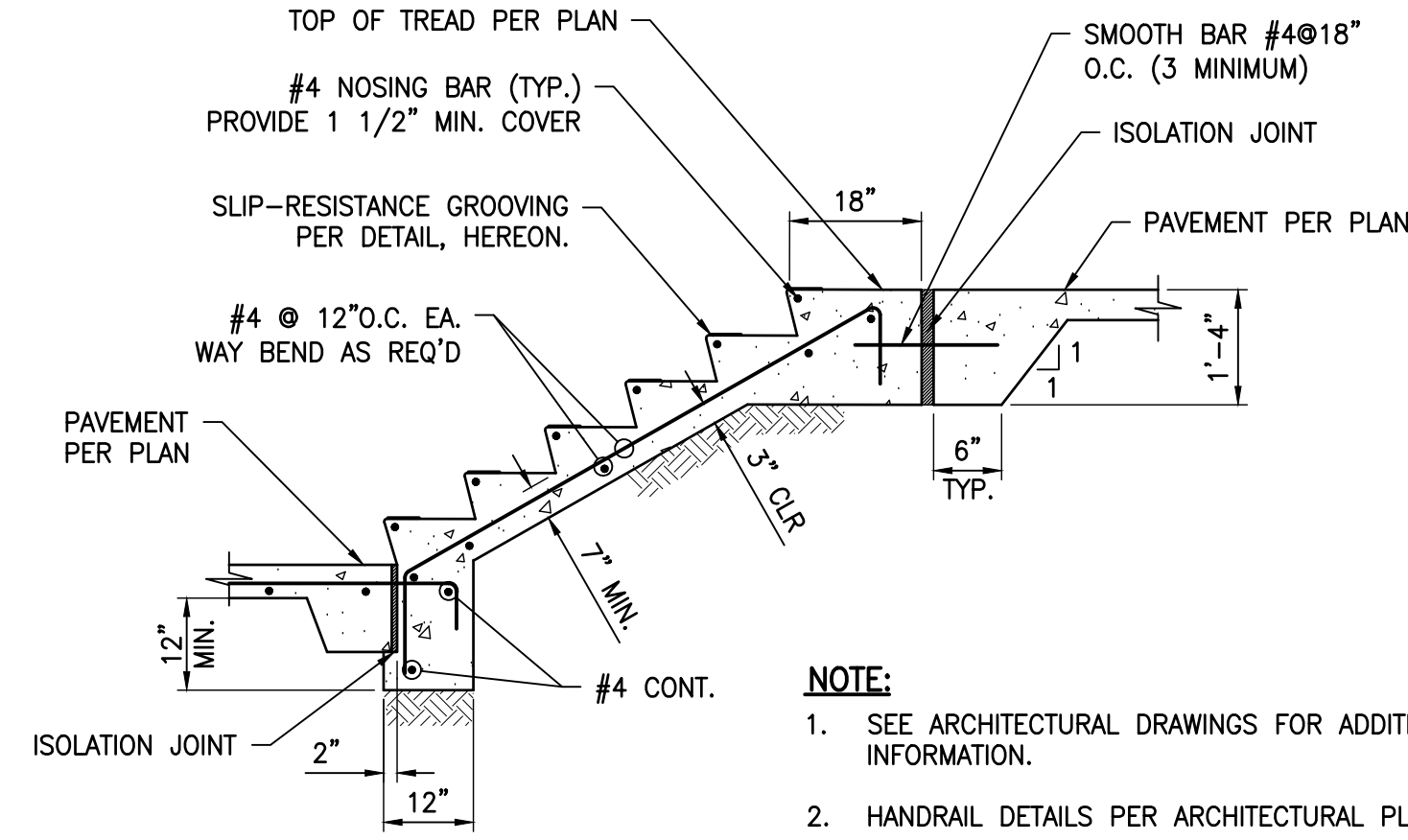
4 ASPHALT PAVING DETAIL

C210 N.T.S.



DOWEL DETAIL

SLIP-RESISTANT GROOVING DETAIL



NOTE:

- SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- HANDRAIL DETAILS PER ARCHITECTURAL PLANS.

5 CONCRETE STAIRS ON GRADE

C210 N.T.S.

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ARCHITECTS

8820 Wilshire Blvd, Suite 330  
Beverly Hills, California 90211  
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CAMPUS

514 NORTH PROSPECT AVE.  
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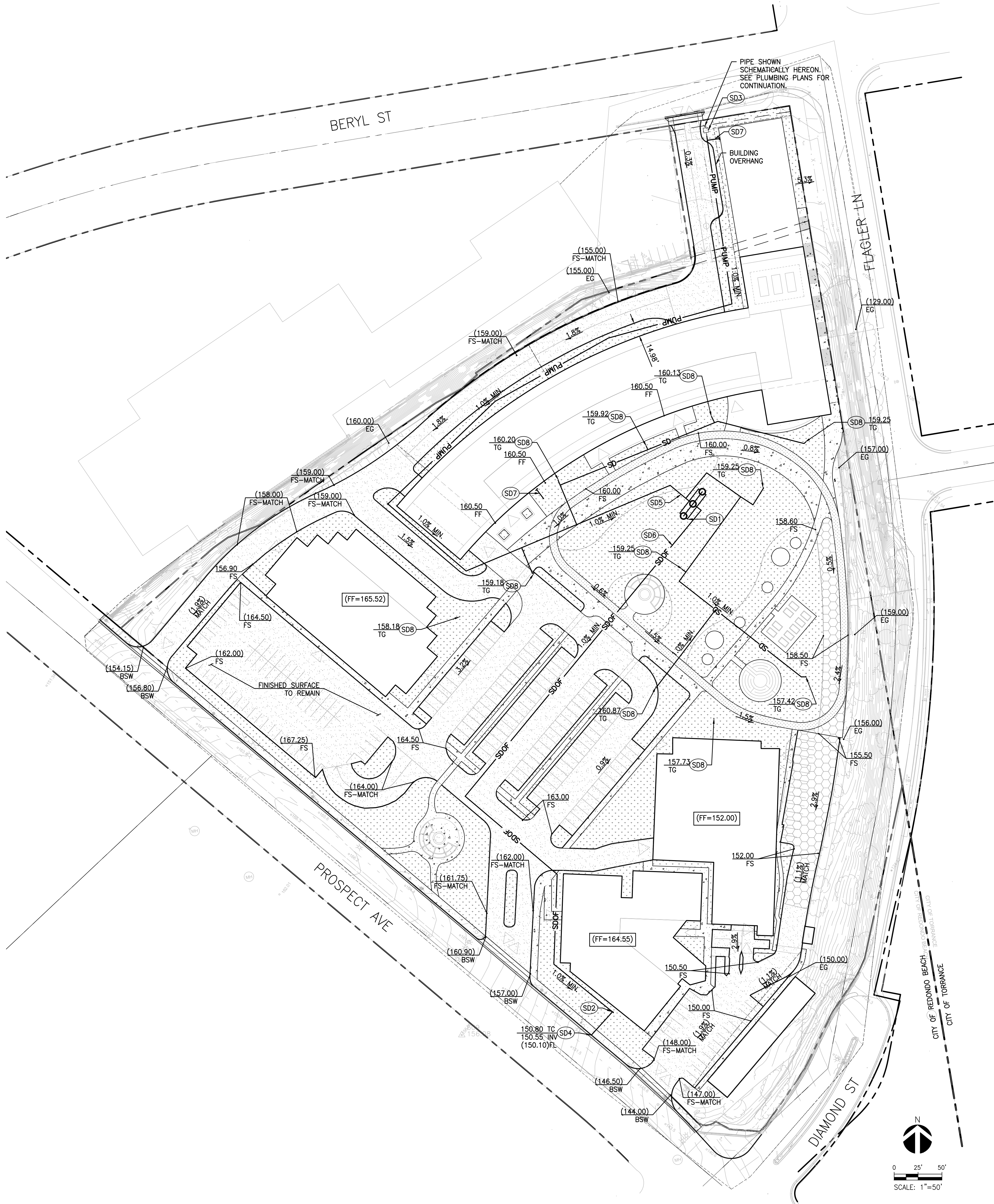
PMA PROJECT NO.  
19010

DRAWING TITLE  
GRADING PLAN

SCALE  
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CHECKED  
Checker  
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C210





LEGEND

- LANDSCAPE BY OTHERS.
- CONCRETE PAVING.
- ASPHALT PAVING. DEPTH OF ASPHALT AND BASE TO MATCH EXISTING.
- COMPACTED DG PER LANDSCAPE PLANS.
- GRASSCRETE.

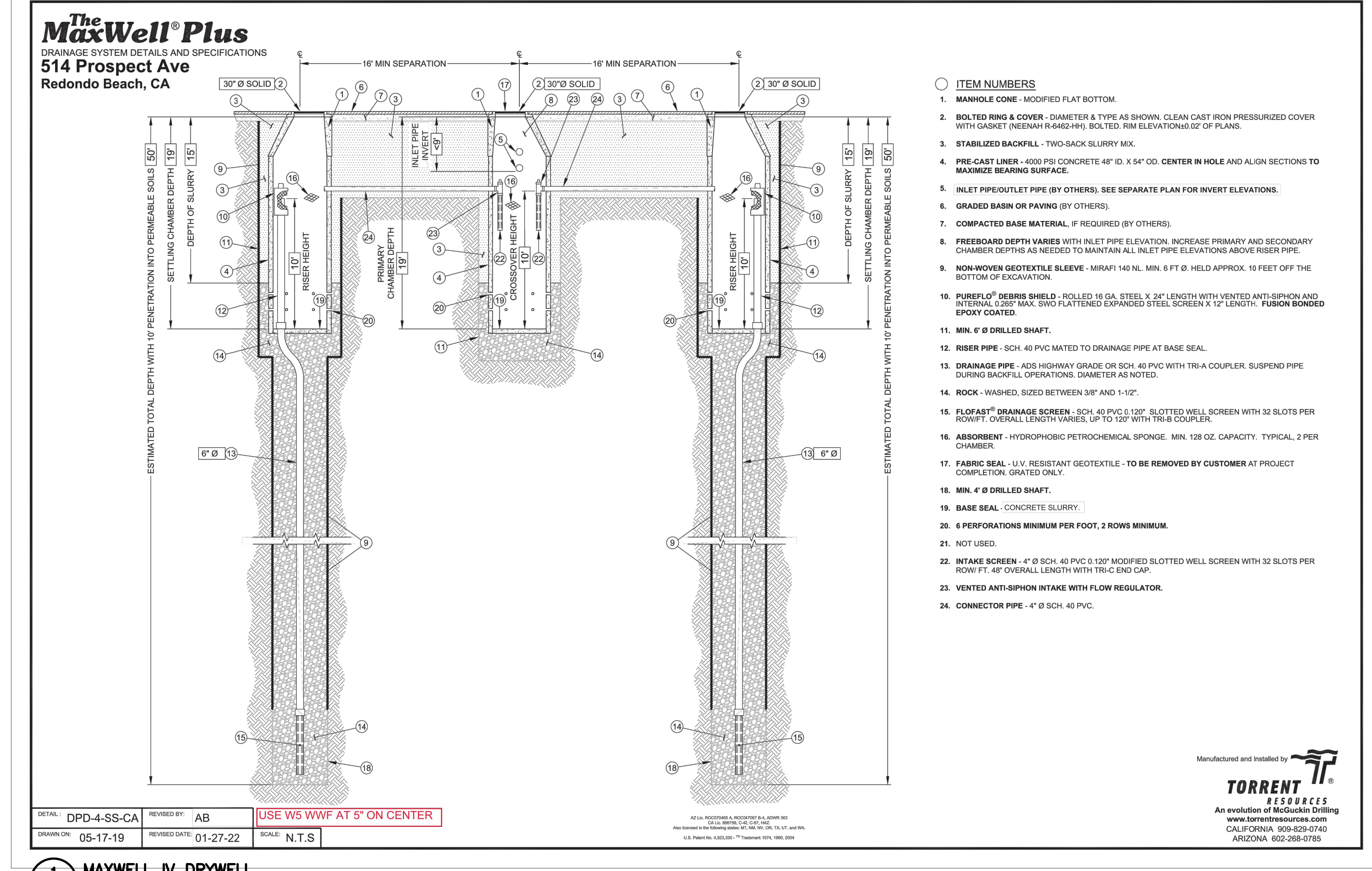
PROJECT SITE CHARACTERISTICS	
	QUANTITIES
TOTAL SITE AREA (S.F.)	433,194
PROPOSED BUILDING FOOTPRINT(S.F)	46,807
EXISTING BUILDING FOOTPRINT(S.F)	57,336
PROPOSED HARDSCAPE(S.F)	183,954
EXISTING HARDSCAPE TO REMAIN(S.F)	27,947
IMPERVIOUS %	72%
LANDSCAPE	109,097
GRASSCRETE	11,053
TOTAL PERVIOUS AREA (S.F.)	120,150
RAINFALL INTENSITY (IN/HR)	0.75
DCV(cf)	8,696

CONSTRUCTION NOTES

- STORM DRAIN**
- (SD1) INSTALL DRYWELL PER DETAIL 1, HEREON.
  - (SD2) STORM DRAIN OVERFLOW POINT OF CONNECTION.
  - (SD3) SUMP PUMP PER OTHERS. SHOWN SCHEMATICALLY HEREON.
  - (SD4) INSTALL CURB DRAIN APWA STD. PLAN 151-4.
  - (SD5) PVC STORM DRAIN CONVEYANCE PIPING.
  - (SD6) PVC OVERFLOW PIPE.
  - (SD7) STORM DRAIN POINT OF CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION FROM ROOF DRAINS.
  - (SD8) 6" AREA DRAIN BY NDS PRO OR APPROVED EQUAL.

NOTES

- 1. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMPS. SEE PLUMBING PLANS.
- 2. INSTALL STENCIL EPR DETAIL AT ALL APPLICABLE LOCATIONS



1 MAXWELL IV DRYWELL

MaxWell® Plus Drainage System Calculations Prepared on January 27, 2022  
Project: Beach City Health District - Redondo Beach, CA  
Contact: Connor Crowley at Labib Funk + Associates - Los Angeles, CA

<b>Given:</b>	
Design Infiltration Rate	4.18 in/hr
Mitigated Volume	8,696 ft <sup>3</sup>
Required Drawdown Time	96 hours
Min. Depth to Infiltration	10 ft
Groundwater Depth for Design	61 ft

<b>Proposed:</b>	
Drywell Rock Shaft Diameter	4 ft
Primary Chamber Depth	19 ft
Drywell Chamber Depth	19 ft
Rock Porosity	40 %
Depth to Infiltration	15 ft
Drywell Bottom Depth	50 ft

Convert Design Rate from in/hr to ft/sec.  
 $4.18 \frac{\text{in}}{\text{hr}} \times \frac{1 \text{ ft}}{12 \text{ in}} \times \frac{1 \text{ hr}}{3600 \text{ sec}} = 0.00097 \frac{\text{ft}}{\text{sec}}$

A 4 foot diameter drywell provides 12.57 SF of infiltration area per foot of depth, plus 12.57 SF at the bottom.  
For a 50 foot deep drywell, infiltration occurs between 15 feet and 50 feet below grade. This provides 35 feet of infiltration depth in addition to the bottom area. Infiltration area per drywell is calculated below.  
 $6 \text{ ft} \times 18.85 \frac{\text{ft}^2}{\text{ft}} + 29 \text{ ft} \times 12.57 \frac{\text{ft}^2}{\text{ft}} + 12.57 \text{ ft}^2 = 490 \text{ ft}^2$

Combine design rate with infiltration area to get flow (disposal) rate for each drywell.  
 $0.00097 \frac{\text{ft}}{\text{sec}} \times 490 \text{ ft}^2 = 0.04742 \frac{\text{ft}^3}{\text{sec}}$

Volume of disposal for each drywell based on various time frames are included below.  
 $96 \text{ hrs} : 0.0474 \text{ CFS} \times 96 \text{ hours} \times \frac{2.208 \text{ gal}}{\text{ft}^3} = 16,389 \text{ cubic feet of retained water disposed of.}$

Chamber diameter = 4 feet. Drywell rock shaft diameter = 4 feet.  
Volume provided in each primary settling chamber with depth of 19 feet.  
 $19 \text{ ft} \times 12.57 \text{ ft}^2 = 239 \text{ ft}^3$   
Volume provided in each drywell with chamber depth of 19 feet.  
 $19 \text{ ft} \times 12.57 \text{ ft}^2 + 2 \text{ ft} \times 28.27 \text{ ft}^2 \times 40 \% + 29 \text{ ft} \times 12.57 \text{ ft}^2 \times 40 \% = 407 \text{ ft}^3$

The MaxWell System is composed of 3 drywell(s) and 1 primary chamber(s).  
Total volume provided = 1460 ft<sup>3</sup>  
Total 96 hour infiltration volume = 49,166 ft<sup>3</sup>  
Total infiltration flowrate = 0.14226 cfs

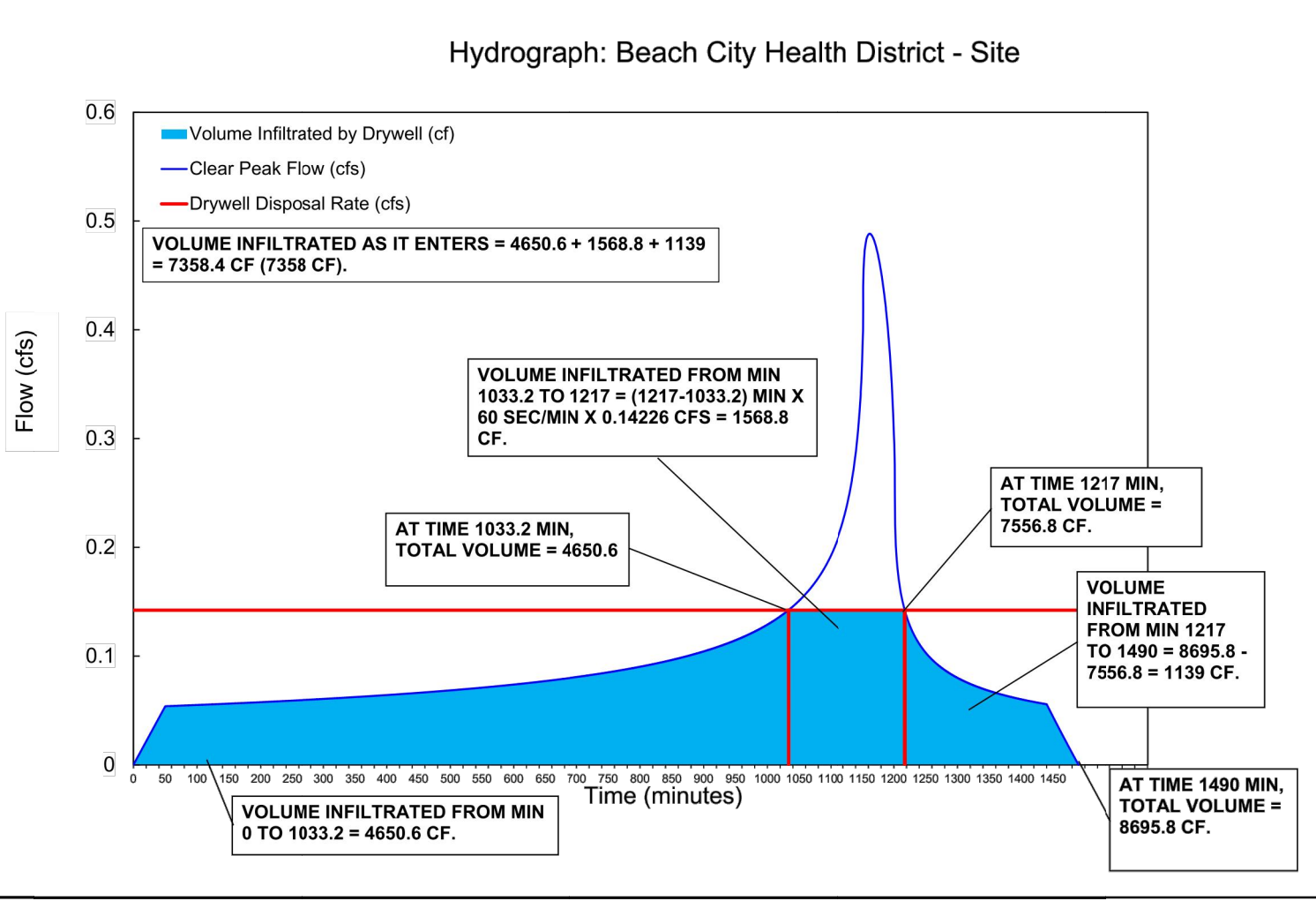
Based on the total mitigated volume of 8696 CF, after subtracting the volume infiltrated as quickly as it enters the drywell of 7358 CF, the remaining volume is 1338 CF. The storage provided in the drywell system is 1460 CF.

For any questions, please contact Alex Bennett at 213-248-4167 or via email at Alex.Bennett@Oldcastle.com



Torrent Resources (CA) Incorporated  
9950 Alder Avenue  
Bloomington, CA 92316  
Phone 907-629-0740

<b>HydroCalc Volume Analysis</b>	
Project: Beach City Health District - Subarea Site * (Values from project "Peak Flow Hydrologic Analysis")	
<b>HydroCalc Output Results*</b>	
Clear Peak Flow (CFS)	0.4883
24-Hr Clear Runoff Volume (AC-FT)	0.1996
24-Hr Clear Runoff Volume (CF)	8696
<b>Analysis</b>	
Drywell Disposal Rate (CFS)	0.14226
Total Volume Infiltrated During 1st Phase (CF)	4650.6
[2nd Phase] Storm Flow Rate Exceeds Drywell Disposal Rate @ (MIN)	1033.2
Total Volume Infiltrated During 2nd Phase (CF)	1568.8
[3rd Phase] Drywell Disposal Rate Exceeds Storm Flow Rate @ (MIN)	1217
Total Volume Infiltrated During 3rd Phase (CF)	1139
Total Time of Storm Event (MIN)*	1490
Total Volume Infiltrated as it Enters Drywell (CF)	7358
Total Storage within MaxWell System (CF)	1460
Remaining Detention Required (CF)	N/A



PAUL MURDOCH  
ARCHITECTS

8820 Wilshire Blvd, Suite 330  
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319 Main Street  
El Segundo, CA 90245  
Tel: 213.239.9700

JLA Job No. 19725



SIN DATE 01/26/2022

NO. DATE REVISION  
**BEACH CITIES HEALTH DISTRICT HEALTHY LIVING CAMPUS**

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

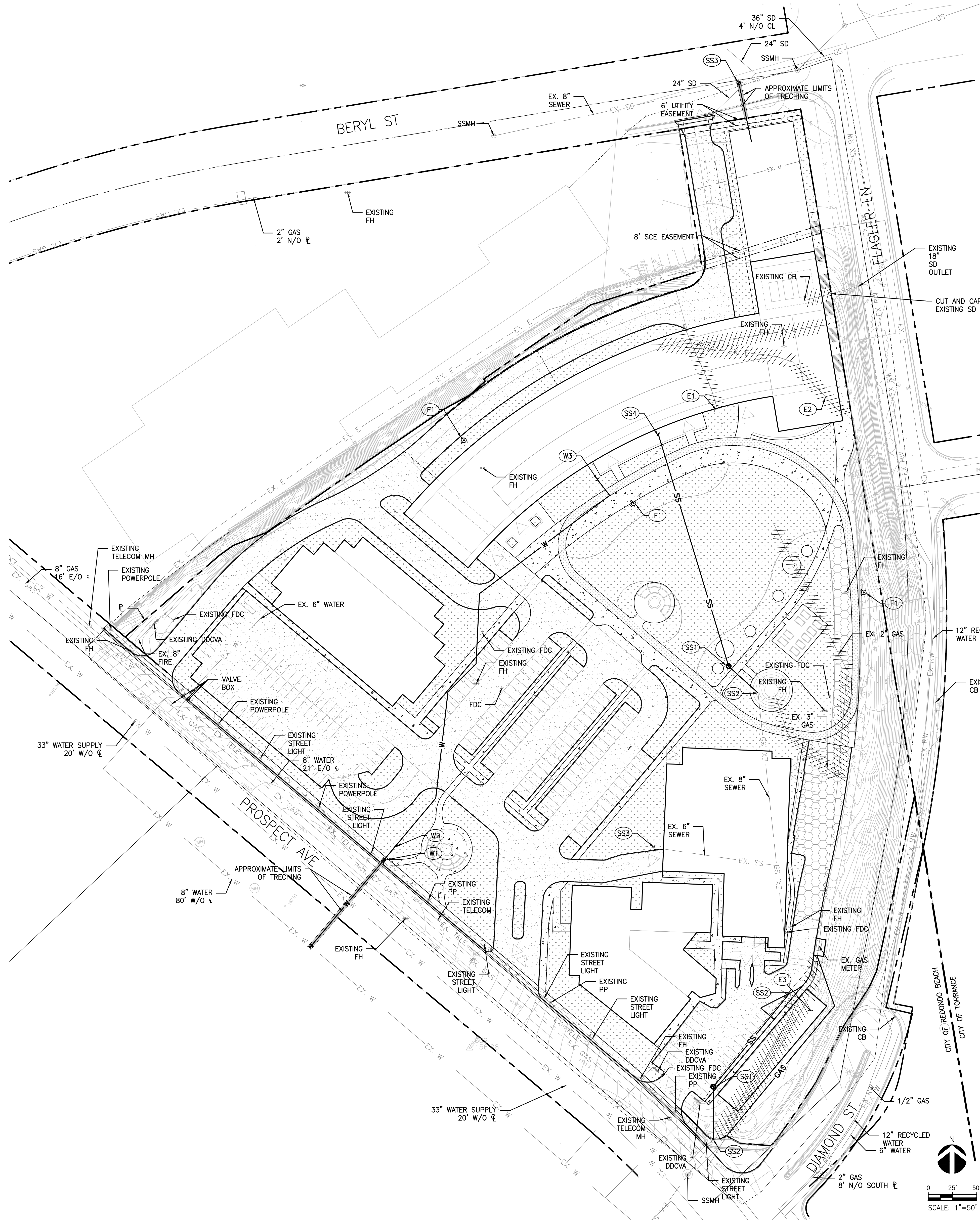
PJM PROJECT NO.  
19010

DRAWING TITLE  
**LOW IMPACT DEVELOPMENT/ DRAINAGE PLAN**

SCALE  
AS NOTED  
DATE  
01/06/20  
DRAWN  
CHECKED  
Author  
Checker  
SHEET NO.

C300



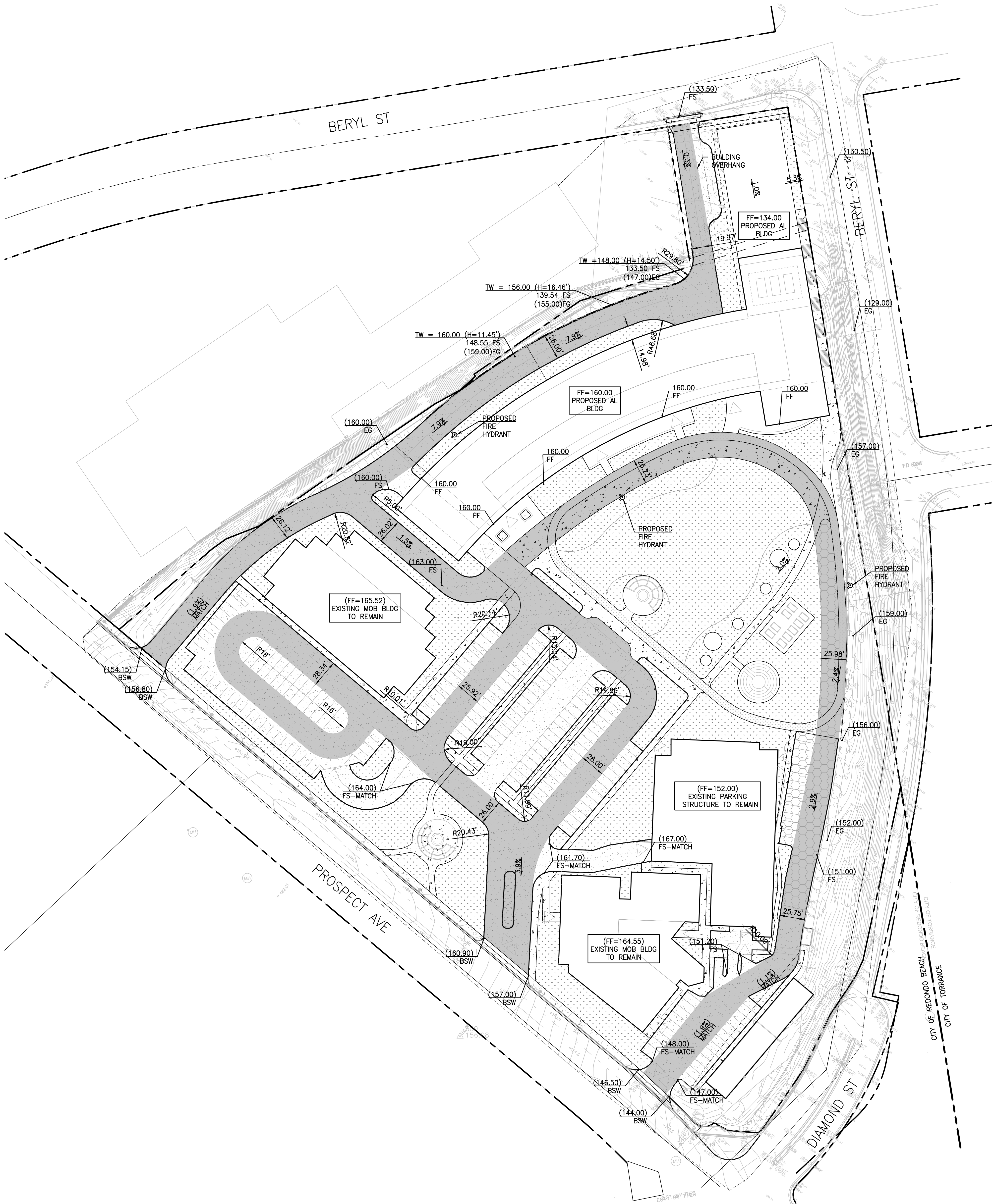


- LEGEND**
- POINT OF CONNECTION
  - UNKNOWN UTILITY CONTINUATION
  - BACKFLOW ASSEMBLY
  - WATER METER
  - FIRE DEPARTMENT CONNECTION (FDC)
  - DEMO UTILITY PIPE
  - EX. W — EXISTING WATER PIPE
  - EX. SD — EXISTING STORM DRAIN PIPE
  - EX. GAS — EXISTING GAS PIPE
  - EX. TELE — EXISTING TELECOM CONDUIT
  - EX. E — EXISTING ELECTRICAL SERVICE
  - EX. RW — EXISTING RECYCLED WATER
  - EX. U — EXISTING UTILITY (UNKNOWN)
  - W — PROPOSED WATER SERVICE
  - SS — PROPOSED SEWER
  - E — PROPOSED ELECTRICAL SERVICE
  - GAS — PROPOSED GAS SERVICE
  - EASEMENT
  - LANDSCAPE
  - CONCRETE PAVING
  - ASPHALT PAVING: DEPTH OF ASPHALT AND BASE TO MATCH EXISTING
  - COMPACTED DG PER LANDSCAPE PLANS
  - GRASSCRETE

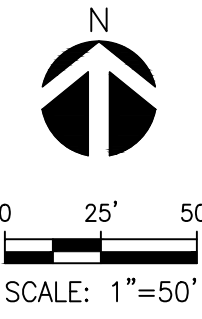
- CONSTRUCTION NOTES**
- DOMESTIC WATER**
- (W1) PROPOSED WATER METER.
  - (W2) PROPOSED BACKFLOW PREVENTER.
  - (W3) POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- FIRE WATER**
- (F1) PROPOSED FIRE HYDRANT.
- SANITARY SEWER**
- (SS1) PROPOSED MANHOLE.
  - (SS2) CONNECT TO EXISTING SEWER LINE. CONTRACT TO VERIFY IN FIELD.
  - (SS3) CUT AND CAP EXISTING SEWER AT NOTED LOCATION.
  - (SS4) POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- ELECTRICAL**
- (E1) EXISTING TRANSFORMER
  - (E2) DEMO EXISTING ELECTRICAL LINE. CONTRACTOR TO COORDINATE SAFE-OFF PRIOR TO DEMOLITION.
  - (E3) PROPOSED ELECTRICAL YARD.

- EXISTING UTILITY NOTES**
1. THE PROPOSED UTILITY DESIGN IS BASED ON EXISTING UTILITIES AND PROVIDED HEREON FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE TO PERFORM POTHOLES AT UTILITY CROSSINGS MARKED ON THIS PLAN TO VERIFY DEPTHS OF EXISTING UTILITIES USING HYDRO-EXCAVATION METHOD. CONTRACTOR TO NOTIFY DISTRICT AND ENGINEER OF RECORD ON ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE INSTALLATION OF ANY NEW UTILITIES.
2. EXISTING ACP PIPE LOCATIONS HAVE BEEN NOTED HEREON BASED ON EXISTING UTILITIES. ADDITIONAL ACP PIPE MAY BE LOCATED WITHIN THE PROJECT LIMITS. CONTRACTOR TO TAKE PROPER PRECAUTIONS WHEN EXCAVATING FOR CONSTRUCTION AND DEMOLITION. IF PIPE MATERIAL IS DETERMINED TO BE ACP, CONTRACTOR SHALL NOTIFY DISTRICT AND CAMPUS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL REFER TO PROJECT HAZ. MAT. REPORT FOR ALL DEMOLITION OF EXISTING ACP PIPE.





- LEGEND**
- FIRE DEPARTMENT CONNECTION (FDC)
  - FIRE HYDRANT
  - FIRE ACCESS ROAD
  - LANDSCAPE.
  - CONCRETE PAVING.
  - ASPHALT PAVING, DEPTH OF ASPHALT AND BASE TO MATCH EXISTING.
  - COMPACTED DG PER LANDSCAPE PLANS.
  - GRASSCRETE.



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ARCHITECTS

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**BEACH CITIES  
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514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

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DRAWING TITLE  
**FIRE ACCESS PLAN**

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**C500**

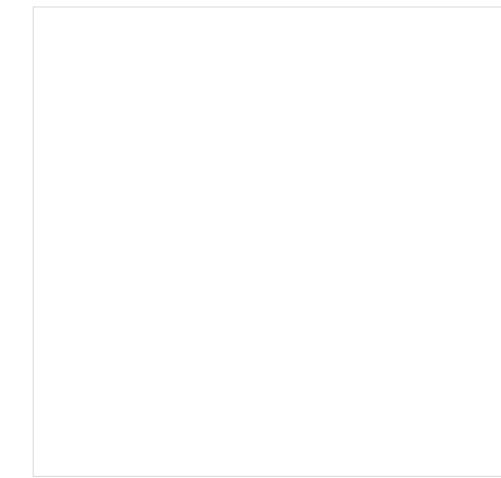




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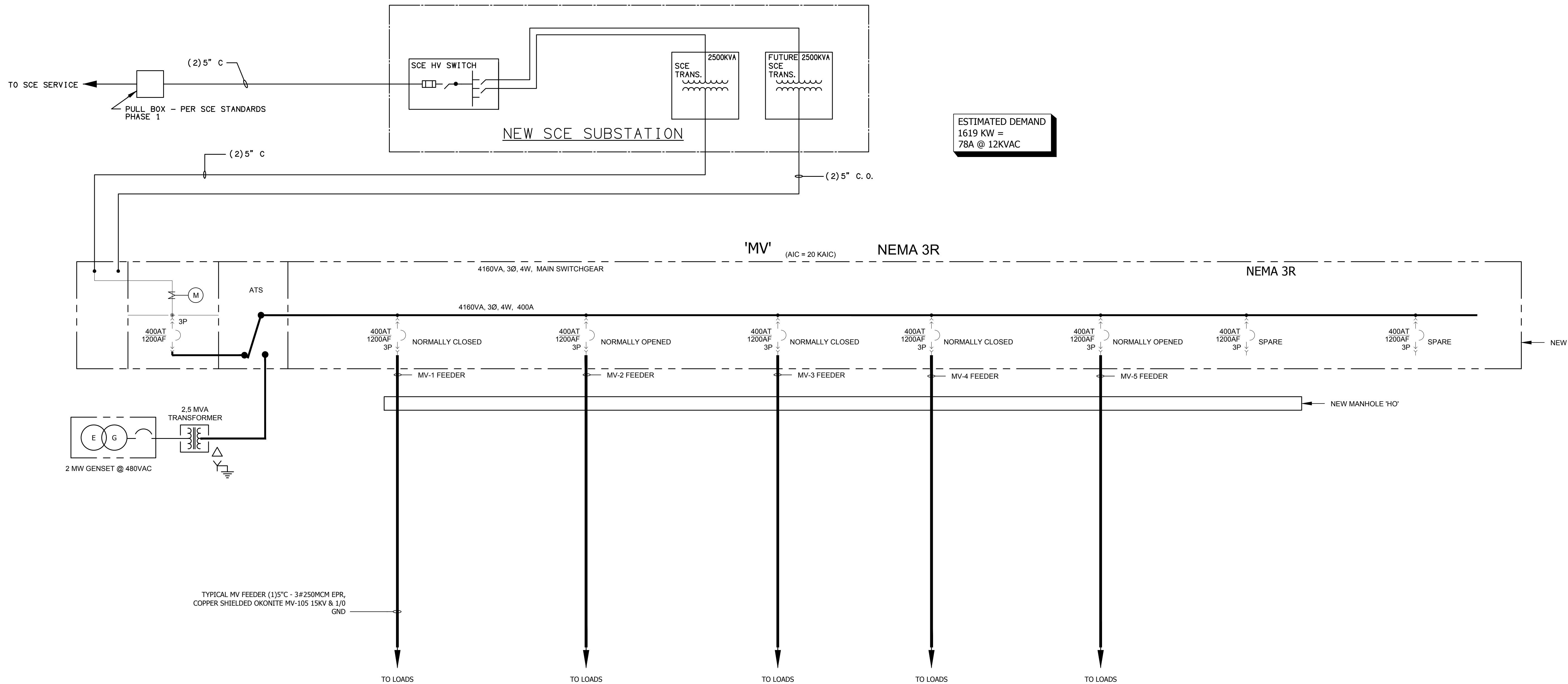
6310 SAN VICENTE BLVD SUITE 400  
LOS ANGELES, CALIFORNIA 90048  
310 358-0953

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WITH FABRICATION.



**LUCCI & ASSOCIATES INC.**  
CONSULTING ELECTRICAL ENGINEERS  
3251 CORTO MALPASO, #511  
CAMARILLO, CA 93012-8094  
(805) 389-6520 FAX (805) 389-6519

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ESTIMATED DEMAND  
1619 KW =  
78A @ 12KVAC

NEW 4160VA MEDIUM VOLTAGE SERVICE FROM SCE SINGLE LINE DIAGRAM

SCALE: NONE

1  
- E200

NO. DATE REVISION

BEACH CITIES  
HEALTH DISTRICT  
HEALTHY LIVING  
CAMPUS

514 NORTH PROSPECT AVE.  
REDONDO BEACH, CA 90277

PMA PROJECT NO.  
19010

DRAWING TITLE

NEW 4160VA  
MEDIUM VOLTAGE  
SERVICE FROM  
SCE SINGLE LINE  
DIAGRAM

SCALE  
As indicated

DATE  
01/29/2022

DRAWN  
L. K/D. S. K.L.

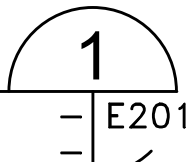
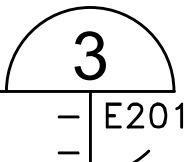
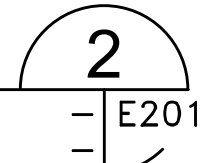
SHEET NO.

E200

L.A.I.# 22-503 PAPER SIZE 42"x30"



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Γ004

L.A.I.# 22-503 PAPER SIZE 42"x30"



